

City of Oxnard

**Northwest Golf Course Community
Specific Plan**

Adopted July 1999

Amendment No. 1 Approved October 2000
Amendment No. 2 Approved September 2002
Amendment No. 3 Approved May 2004

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1.0 INTRODUCTION

1.1 Purpose of the Specific Plan

The Northwest Golf Course Community Specific Plan (*Specific Plan*¹) provides the City of Oxnard with a comprehensive planning program to direct the orderly development of the Northwest Golf Course Community. The *Specific Plan* provides a conceptual land use plan, regulations, guidelines and programs to ensure that this area of the City is developed in a manner consistent with the goals, objectives, principles and policies of the City of Oxnard 2020 *General Plan* (referred to in this document as the 2020 *General Plan*).

The *Specific Plan* allows development of a wide variety of public recreation, institutional, and residential uses within the 323-acre *Specific Plan Area*. The build out of the *Specific Plan Area* will include a high quality public golf course. This golf course is planned as an extension of the existing River Ridge Golf Course, and will incorporate the former Coastal Landfill site. This new golf course will extend west from the existing River Ridge Golf Course over the Coastal Landfill and south along Victoria Avenue and Patterson Road. A *Residential Community* containing new homes, churches and related uses, including schools and day care facilities, is planned on the southern portion of the *Specific Plan Area*. The *Specific Plan* also provides for the continuation of existing residential uses in the *Specific Plan Area* and provides sites for the development of affordable housing and for the relocation and restoration of a historical home located within the *Specific Plan Area*. The regulations and guidelines contained in this *Specific Plan* will ensure that these uses, and the associated infrastructure elements and public spaces, are planned and designed in an integrated manner.

This *Specific Plan* has been prepared in accordance with the requirements of the California Government Code (Sections 65450 through 65457) and addresses all issues and topics specified in the code. A key function of the *Specific Plan* is to reduce the need for subsequent master planning and environmental review procedures as the project area is developed. The *Specific Plan* fixes the general layout and configuration of the golf course, the general locations of streets, and defines the land uses allowed in the *Specific Plan Area*. At the time of subdivision of land, subdivision maps will precisely fix the boundary of the golf course and the location of streets and configuration of lots in the adjacent *Residential Community*.

¹ All terms in italics in this document have defined meanings as contained in Section 4.8, Glossary.

In accordance with Section 65453 of the California Government Code, the City of Oxnard prepared an Environmental Impact Report (EIR-97031009) for this *Specific Plan*. The City of Oxnard Planning Commission certified this EIR on August 6, 1998. This EIR was prepared in accordance with the California Environmental Quality Act (CEQA) and is intended to serve as the primary environmental document for residential development occurring in the *Specific Plan Area* and all individual residential projects which are undertaken pursuant to, and in conformance with, the *Specific Plan*. No Initial Study or negative declaration need be filed pursuant to Division 13 (commencing with Section 21000 of the Public Resources Code) for any individual residential development projects that are in substantial conformance with the *Specific Plan*, as determined by the Planning and Environmental Services Manager. Individual residential projects in substantial conformance with the *Specific Plan* may proceed with subdivision map review and/or site and building development design review actions without the requirement for additional environmental documentation.

Addendums to the EIR for the *Specific Plan* were prepared to analyze the potential impacts of Amendment Nos. 1 through 3 to the *Specific Plan* in conformance with the standards of Section 15164 of the CEQA Guidelines. As required by this section of the Guidelines, these Addendums were considered with the certified Final EIR prior to approval of Amendment Nos. 1 through 3.

1.2 Community Setting

a. Location and Physical Setting

As shown in **Exhibit 1**, the *Specific Plan Area* is located at the northwestern corner of the City of Oxnard, immediately west of the existing River Ridge Golf Course and residential neighborhoods. These neighborhoods were developed under the City's Northwest Community Specific Plan. Presently, the *Specific Plan Area* is largely surrounded by existing streets and development. The western boundary of the *Specific Plan Area* is Victoria Avenue, and Gonzales Road is the southern boundary. To the east, the existing River Ridge Golf Course and Patterson Road form the edge of the *Specific Plan Area*. The Santa Clara River is located to the north, with the City of Ventura located north of the river.

To the west of the *Specific Plan Area*, across Victoria Avenue, is the closed Bailard Landfill and agricultural land located in the Oxnard-Ventura Greenbelt. These *agricultural uses* extend toward the coastline of the Pacific Ocean to the west. The 4,600-acre greenbelt area was designated by the Cities of Oxnard and Ventura in 1993. South of the *Specific Plan Area*, across Gonzales Road, lies Oxnard High School and agricultural land. The Oxnard Airport is located further to the south.

The majority of the *Specific Plan Area* as it currently exists is flat land, approximately 40 feet above sea level. The closed Coastal Landfill rises sharply to a plateau, at a height of almost 100 feet above sea level.

As discussed above, several major roadways bound the *Specific Plan Area*. Victoria Avenue provides a major connection from the City of Oxnard to the City of Ventura and to the 101 Freeway. Gonzales Road provides an important east-west link in the City of Oxnard between the beach areas to the west and the Northeast Residential Community and Northeast Industrial Area on the eastern side of the City.

b. Existing Land Uses and On-site Characteristics

The closed Coastal Landfill occupies approximately 82 acres of the 323-acre *Specific Plan Area*. The landfill site is maintained by the Ventura Regional Sanitation District under a post-closure monitoring plan, with a network of gas collection lines and irrigation lines crossing the site. The former Sister Servants of Mary Convent and an adjacent single-family home located to the north of the convent facility are located on approximately 5 acres on Victoria Avenue. Access to these sites is currently provided by driveways from Victoria Avenue. Prior to annexation of the entire *Specific Plan Area* to the City, the County of Ventura issued a *Special Use Permit* to allow the convent complex to be used as a shelter for women and their children.

The remainder of the *Specific Plan Area* was historically used for agricultural production and consists of row crop fields and citrus orchards. Three major north-south agricultural windrows are located within the *Specific Plan Area*. One flanks the easterly edge of Victoria Avenue. The other two parallel this first windrow and roughly divide the *Specific Plan Area* into thirds. The central section is planted in lemons, and the eastern and western sections are planted in row crops.

The eastern portion of the *Specific Plan Area* contains several structures including a single-family home and associated structures. The existing home, known as the McLoughlin House, has been identified as a historical resource due to the association of this structure with the McLoughlin family, one of the early settlers of the Oxnard area. The McLoughlin House is located on the eastern side of the *Specific Plan Area* near Patterson Road.

1.3 Objectives of the Specific Plan

The City of Oxnard has established objectives for the *Specific Plan*. These objectives respond to the existing physical setting of the *Specific Plan Area* and surrounding areas as well as the City's 2020 *General Plan*. The City's objectives for the *Specific Plan* are as follows:

- Accommodate the growing demand for public golf courses consistent with the City's goal to provide a variety of quality recreational facilities and resources for Oxnard residents and visitors;
- Improve the visual character of the northwest portion of the City as viewed from Victoria Avenue and, in particular, the closed Coastal Landfill;
- Plan this edge of the City of Oxnard in a manner that is complementary to, and compatible with, the agricultural areas to the west of Victoria Avenue in the Oxnard-Ventura Greenbelt;
- Encourage the development of a coordinated neighborhood containing housing, recreational and institutional facilities;
- Provide housing that is compatible with the existing character of this area and complementary to the overall range of housing opportunities provided by the City's 2020 *General Plan*;
- Preserve areas and elements of unique visual, historic, physical, or cultural importance;
- Provide a planning framework for the community which allows for the development of a variety of housing types and open space experiences; and
- Provide strong connections between the surrounding land uses and a harmonious variety of housing choices and institutional activities while preserving the natural and scenic qualities of the open space.

1.4 Authority

California Government Code Section 65450 gives a legislative body the authority to prepare specific plans for the systematic implementation of the general plan for all or part of the area covered by the general plan. As outlined in the Government Code Sections 65451-65452, specific plans are to contain a text and diagram or diagrams specifying:

- The distribution, location, and extent of land uses;
- The distribution, location, and extent of major infrastructure improvements needed to support the land uses described in the plan;
- Development standards and criteria;
- A program of implementation measures;
- A statement of the relationship of the specific plan to the general plan; and
- Any other subjects which are necessary or desirable for the implementation of the general plan.

After it is adopted, a specific plan supplements existing zoning regulations and has an effect similar to the local general plan. For example, the State Subdivision Map Act requires the legislative body to deny approval of a tentative or final subdivision map if it is not in substantial conformance with the applicable specific plan. In addition, a development agreement between a municipal body and a developer/applicant cannot be approved unless the legislative body finds the agreement is consistent with the general plan and any applicable specific plan.

1.5 Relationship to the City of Oxnard 2020 General Plan

The City adopted the *2020 General Plan* in November 1990 to guide development of the City. The *2020 General Plan* includes the following elements: Growth Management, Land Use, Circulation, Public Facilities, Open Space/Conservation, Safety, Noise, Economic Development, Community Design, Parks and Recreation, and Housing. A primary component of the Land Use Element is the 2020 Land Use Map, which designates the land use classifications and land use patterns intended to achieve the City's overall land use objectives. A major amendment to the policies in the *2020 General Plan* related to open space resources was approved by the citizens of Oxnard in November 1998.

The *2020 General Plan* Land Use Map designations for the *Specific Plan Area* were amended at the time the *Specific Plan* was adopted and amended again at the time Amendment No. 1 to the *Specific Plan* was approved. The land use designations for the site include Parks, Schools, Low and Medium Density Residential and Specialized Commercial, restricted to limited office use by this *Specific Plan*. The *Specific Plan Area* is not located in the Oxnard-Ventura Greenbelt, which includes the land on the west side of Victoria Avenue.

The Land Use Map designations for surrounding areas include agriculture to the west of Victoria Avenue and south of Gonzales Road, a school site south of Gonzales Road, and parks and residential uses to the east where the existing River Ridge Golf Course and Cabrillo Neighborhood are located. The Santa Clara River, located to the north of the *Specific Plan Area*, is designated as open space by the *2020 General Plan*.

The neighborhood is the focus of the residential planning concept in the *2020 General Plan*. It is the fundamental residential component containing a variety of basic land uses, services, and facilities. The policies in the *2020 General Plan* call for each neighborhood to offer a wide range of housing choices and adequate public amenities.

The Land Use Element identifies the residential neighborhoods throughout the City and groups these neighborhoods into seven residential communities. The *Specific Plan Area* is located within the Northwest Residential Community as defined in the *2020 General Plan*. The Northwest Residential Community also includes six existing residential neighborhoods in the northwestern part of the City.

The *2020 General Plan* Community Design diagram, as contained in the Community Design Element of the *2020 General Plan*, identifies the aesthetic resources of the *Specific Plan Area* and its surroundings. This element identifies the agricultural area to the west of Victoria Avenue as a major scenic resource. Roadways through the City that provide views of scenic resources in and around the City are designated as City Image Corridors. All major roadways in the vicinity of the *Specific Plan Area* provide scenic views and are designated as City Image Corridors. Agricultural windrows on the property are also recognized as a scenic resource that should be maintained to provide unique vertical visual accents. In addition, this element contains policies that call for special City-edge and neighborhood-edge treatments to be created along greenbelt areas.

a. Jurisdictional Boundaries and Policies

The entire *Specific Plan Area* is located within the Sphere of Influence Line for the City of Oxnard and the corporate boundary of the City.

The City of Oxnard has formed two greenbelts with surrounding jurisdictions to preserve large areas of agricultural land around the City. The 4,600-acre Oxnard-Ventura Greenbelt includes the land to the west of Victoria Avenue.

In 1998, the City of Oxnard adopted a SOAR Ordinance which created a City Urban Restriction Boundary and placed it on the ballot in November 1998 for voter approval. This City Urban Restriction Boundary (CURB) was approved. The purpose of the CURB is to create a boundary defining the area in which urban development will be allowed through the year 2020, the horizon year for the *City's 2020 General Plan*. Through the year 2020, the City of Oxnard will restrict urban services and land uses to land located within the CURB. The *Specific Plan Area* is located within the City's CURB, and development of the area is consistent with this ordinance.

1.6 Organization of the Specific Plan

The organization of the *Specific Plan* and the directions for its use are defined below.

- **Chapter 1: Introduction** The introduction outlines the intent and structure of the Northwest Golf Course Community and this *Specific Plan*, and establishes the regulatory authority of the Plan and its relation to other regulatory documents.
- **Chapter 2: Development Plan** This chapter defines the pattern and intensity of land uses allowed in the *Specific Plan Area*, the design and character of the streets serving the *Specific Plan Area*, the planned open space network, the utility networks planned to serve the allowed land uses and the types of walls and fences allowed throughout the *Residential Community*.
- **Chapter 3: Development Standards and Design Guidelines** This chapter includes site *Development Standards*, *Design Guidelines*, and *Landscape Standards*.
- **Chapter 4: Implementation** This chapter defines the policies and programs to be used to implement the *Specific Plan*.

2.0 DEVELOPMENT PLAN

2.1 Land Use Concept

The *Land Use Concept Plan Diagram*, **Exhibit 2**, shows the pattern of land uses allowed by this *Specific Plan*. The arrangement of land uses is defined by the planned extension of the existing River Ridge Golf Course. The existing 18-hole River Ridge public golf course will be expanded to include 18 additional golf holes. The existing and new golf course holes will be combined to provide two high quality 18-hole golf courses. Play on both courses will begin and end at the existing River Ridge Clubhouse located on Vineyard Avenue between Patterson and Ventura Roads. The additional golf course holes will extend west from the existing golf course over the Coastal Landfill site and south along Victoria Avenue and Patterson Road. The extension of the River Ridge course will occupy approximately 171 acres of the 323-acre *Specific Plan Area*.

In addition to providing 18 holes of championship quality golf, the course is intended to provide long, open vistas of green open space from Victoria Avenue, Patterson Road and Vineyard Avenue. This will reinforce the existing golf-oriented character of the River Ridge neighborhoods to the east of the *Specific Plan Area*, and will establish a new image for this gateway to the City for those arriving from the north on Victoria Avenue. The location of the golf course along Victoria Avenue also provides a green and open character, visually compatible with the open space character of the agricultural areas to the west. The golf course has been planned around the former Sister Servants of Mary Convent complex on Victoria Avenue and a site immediately south of the convent complex provided for the development of an affordable housing project.

The *Residential Community* is organized to relate to the golf course, the existing eucalyptus windrows on the site, and the existing uses around the *Specific Plan Area*. The design of the *Residential Community* also responds to the City's Vision for a More Livable Communities planning guidelines. *Institutional Uses*, such a church and church-related private schools, will front on Gonzales Road, opposite the existing High School. The *Institutional Uses* front onto a landscaped boulevard, which will serve as the major entry to the *Residential Community*. A site is also provided at the corner of Gonzales and Patterson Roads for the development of a new elementary school by the Oxnard Elementary School District.

A site is also provided immediately west of where Vineyard Avenue and Patterson Road meet for the reconstruction of the McLoughlin House. This historic home will be reconstructed at this location for use as a commercial office.

Exhibit 2 – Land Use Concept Plan Diagram



Primary access to the *Residential Community* is from Gonzales Road near the center of the *Residential Community* on a formally landscaped boulevard (Avenue A). Secondary access to the *Residential Community* is from a public street (Avenue F) which extends west from Patterson Road and south to Gonzales Road. Secondary access to the *Residential Community* is also provided from Gonzales Road near Victoria Avenue. Access to the *Residential Community* will be controlled by gates at these three entry points. Access to the elementary school will be provided from Avenue F, which borders the school site on the north and west. Access from Patterson Road is provided for the McLoughlin House site while the convent complex and affordable housing site take access from Victoria Avenue.

The *Residential Community* is divided naturally into three major areas by the existing windrows, the dominant existing physical features of the flat site. For the purposes of this *Specific Plan*, these three areas are referred to as the *East Neighborhood*, *Central Neighborhood*, and *West Neighborhood*. The existing windrows are incorporated into the design of the major north-south streets in the *Residential Community* (Avenues D and E), which serve as the boundaries of the neighborhoods. East-west access between the neighborhoods is provided primarily by Avenues B and C. The planned street pattern will create a variety of lot sizes for single-family residential use and distinctive landscaped greens (referred to as *Landscape Greens* in this document) in key locations.

The *East Neighborhood* will contain the largest lots in the *Residential Community*. A portion of these lots are reserved as *Custom Home Sites* (as defined in **Section 3.2** of this *Specific Plan*). This *Specific Plan* allows development of a maximum of 83 homes in this neighborhood. Homes in this neighborhood are allowed to have front yards or back yards facing the golf course, providing a variety of living experiences and create a varied and attractive streetscape from within the golf course and this neighborhood.

The *Central Neighborhood* is intended to have an intimate scale and character. It is organized around a private recreational facility to be provided for the *Residential Community* and a distinctive *Landscape Green* at the end of Avenue A. The private recreational facility in the *Central Neighborhood* is centrally located between the three neighborhoods along the golf course. This recreation area will allow all residents of the community to enjoy views out to the golf course and experience living on the fairways. This *Specific Plan* allows development of a maximum of 216 single-family homes in the *Central Neighborhood*.

This *Specific Plan* allows development of a maximum of 152 single-family homes in the *West Neighborhood*, which also includes two *Landscape Greens* as focal points in the street system.

The size of the lots and homes allowed in these neighborhoods, along with the landscape design of the streets and the controlled access, will result in the creation of a unique residential area in the City.

2.2 Circulation Plan

The structural framework of the *Residential Community* is created by the streets. In addition to providing sufficient access to the allowed land uses, the street network also defines a series of *Landscape Greens*, which are planned as one of the distinctive physical features of the *Residential Community*.

The City's Vision for a More Livable Communities planning guidelines emphasize the importance of streets in connecting the activities of daily life for the residents of neighborhoods. In addition, streets are important public spaces, the design of which defines the character and quality of the City and its neighborhoods. The *Residential Community* is organized around a network of unique, walkable streets and is highlighted by the *Landscape Greens*.

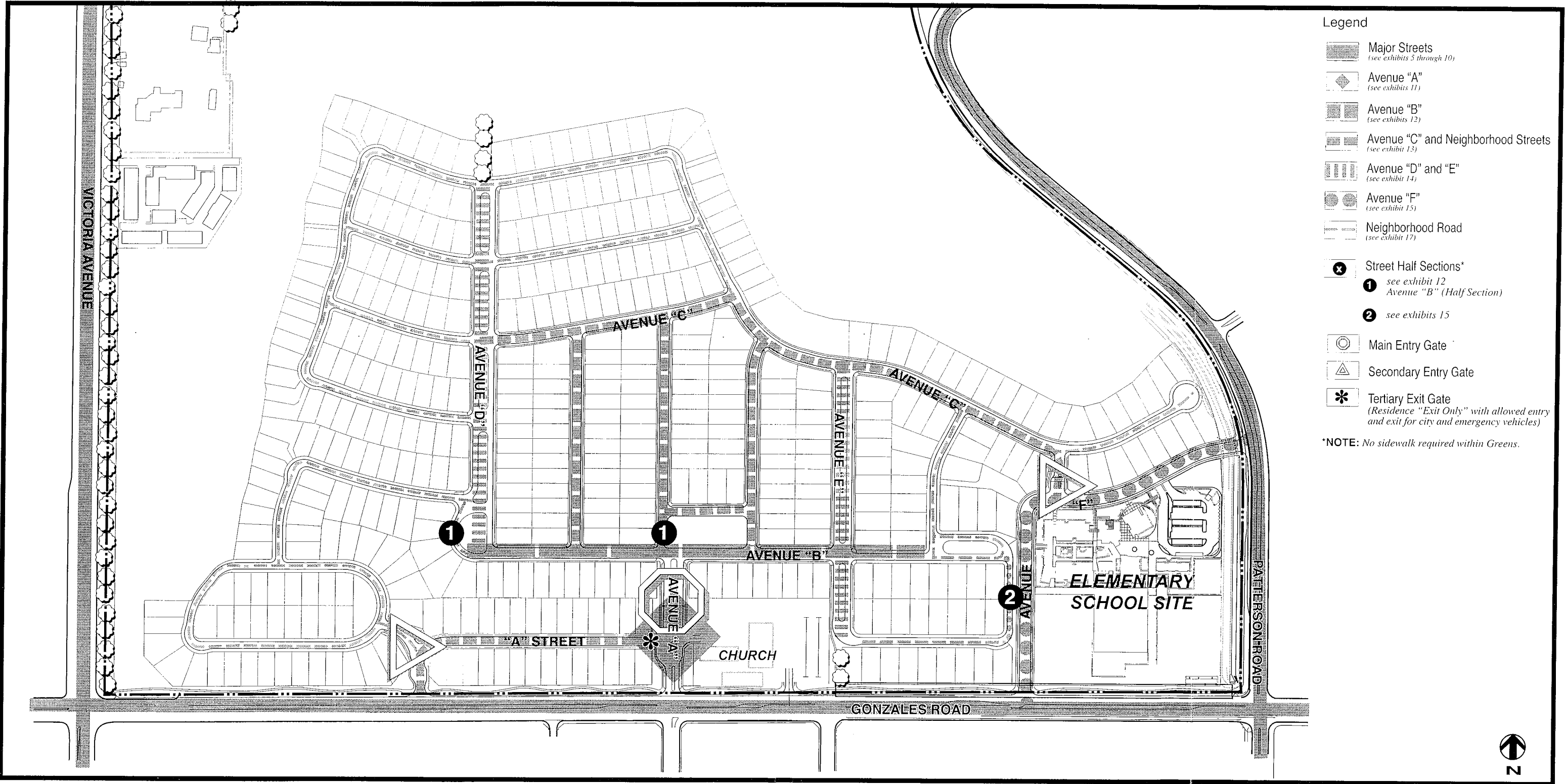
The following three main categories of existing and planned streets serve the *Specific Plan Area*.

- *Major Streets* - Existing streets forming the edges of the *Specific Plan Area*;
- *Avenues* - Connect the *Major Streets* to the interior of the *Residential Community* and provide circulation between the *West, Central* and *East Neighborhoods*;
- *Neighborhood Streets* and *Roads* - Provide access within the *West, Central* and *East Neighborhoods*.

The location of each type of street around and within the *Specific Plan Area* is shown in **Exhibit 3**, Circulation Master Plan Diagram. This diagram also shows the location of the primary and secondary entrance gates to the *Residential Community* and three locations within the *Residential Community* street system where special one way street sections are provided to complement the system of *Neighborhood Greens*.

The *Specific Plan* defines the configuration and landscape design of the streets serving the *Specific Plan Area*. The Schematic Streetscape Master Plan Diagram is shown in **Exhibit 4**. The major characteristics of each of the four street types are described below.

Exhibit 3 – Circulation Master Plan Diagram

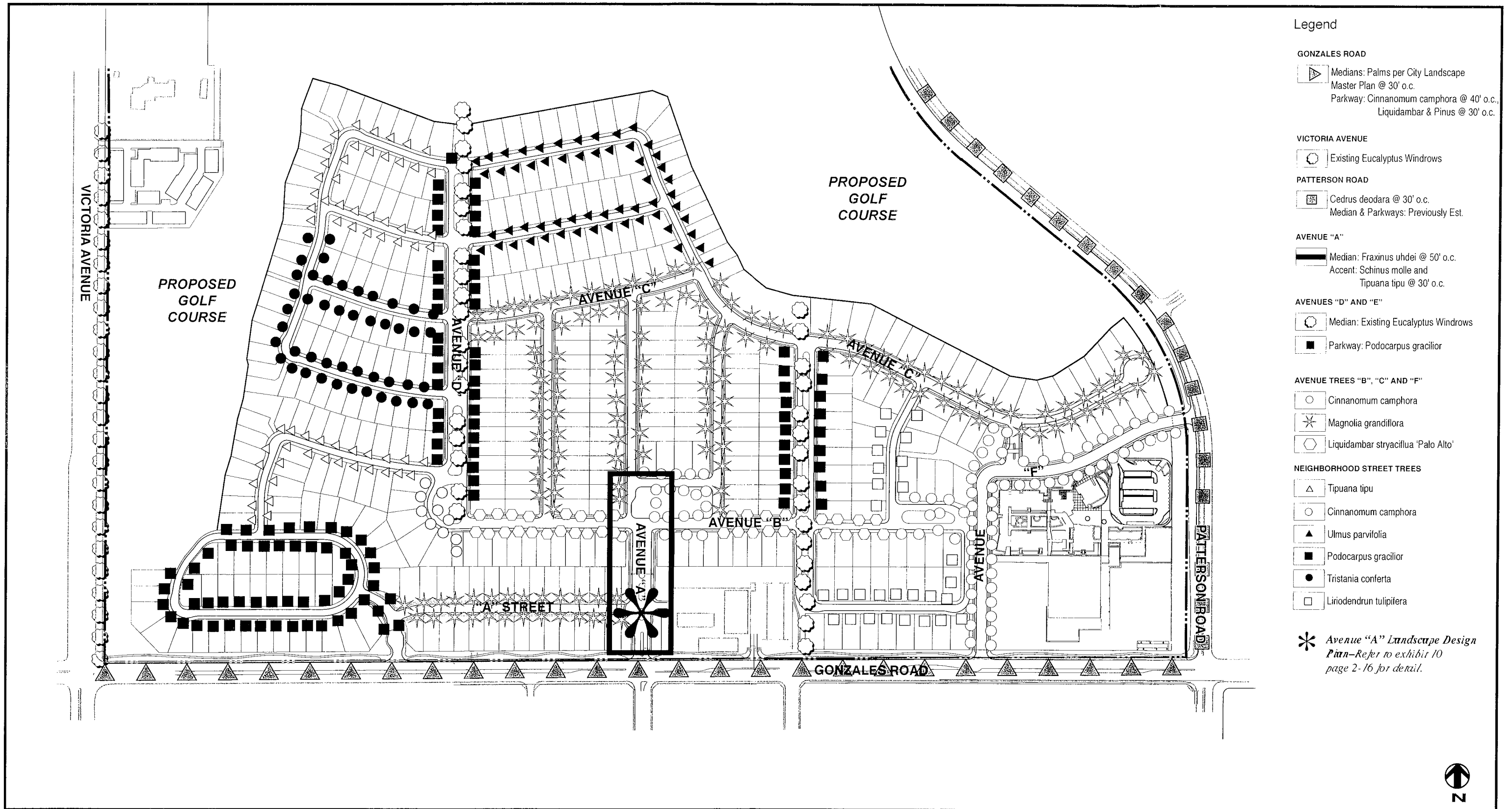


- Legend**
- Major Streets
(see exhibits 5 through 10)
 - Avenue "A"
(see exhibits 11)
 - Avenue "B"
(see exhibits 12)
 - Avenue "C" and Neighborhood Streets
(see exhibit 13)
 - Avenue "D" and "E"
(see exhibit 14)
 - Avenue "F"
(see exhibit 15)
 - Neighborhood Road
(see exhibit 17)
 - Street Half Sections*
 - 1** *see exhibit 12*
Avenue "B" (Half Section)
 - 2** *see exhibits 15*
 - Main Entry Gate
 - Secondary Entry Gate
 - Tertiary Exit Gate
(Residence "Exit Only" with allowed entry and exit for city and emergency vehicles)

*NOTE: No sidewalk required within Greens.



Exhibit 4 – Schematic Streetscape Master Plan Diagram



- Legend**
- GONZALES ROAD**
 - Medians: Palms per City Landscape Master Plan @ 30' o.c.
 - Parkway: Cinnanomum camphora @ 40' o.c., Liquidambar & Pinus @ 30' o.c.
 - VICTORIA AVENUE**
 - Existing Eucalyptus Windrows
 - PATTERSON ROAD**
 - Cedrus deodara @ 30' o.c.
 - Median & Parkways: Previously Est.
 - AVENUE "A"**
 - Median: Fraxinus uhdei @ 50' o.c.
 - Accent: Schinus molle and Tipuana tipu @ 30' o.c.
 - AVENUES "D" AND "E"**
 - Median: Existing Eucalyptus Windrows
 - Parkway: Podocarpus gracilior
 - AVENUE TREES "B", "C" AND "F"**
 - Cinnanomum camphora
 - Magnolia grandiflora
 - Liquidambar stryaciflua 'Palo Alto'
 - NEIGHBORHOOD STREET TREES**
 - Tipuana tipu
 - Cinnanomum camphora
 - Ulmus parvifolia
 - Podocarpus gracilior
 - Tristania conferta
 - Liriodendrun tulipifera
 - * Avenue "A" Landscape Design**
Plan-Refer to exhibit 10 page 2-16 for detail.

a. Major Streets

Major Streets are located and detailed with the following intentions:

- Connect the *Residential Community* to other communities within and beyond the City.
- Define the boundaries of *West, Central and East Neighborhoods* within the *Residential Community*.
- Accommodate larger volumes of vehicular traffic at moderate to high speeds.
- Separate vehicular and bicycle traffic in distinct travel lanes.

The *Major Streets* serving the *Specific Plan Area* are shown in **Exhibit 3**. Access points to the *Residential Community* are also identified on **Exhibit 3**. A description of the characteristics of each of the *Major Streets* surrounding the *Specific Plan Area* is described below.

Gonzales Road

Gonzales Road is a major east-west arterial in the City of Oxnard, connecting to Rice Avenue in the City's Northeast Industrial Area to the east and to Harbor Boulevard to the west. West of Victoria Avenue, the General Plan Circulation Element calls for Gonzales Road to be a two-lane roadway through agricultural lands. Gonzales Road to the east of Patterson Road is a four-lane arterial street, with a planted median strip.

Gonzales Road adjacent to the *Residential Community* is designed as a formal avenue, with a landscaped median strip and parkway with a sidewalk on the northern side of the street. This design is intended to complement the *Institutional Uses* along the northern and southern sides of the street while strongly defining this western entry to the City. It includes four (4) high-speed lanes for through traffic, with dedicated right- and left-turn lanes where needed. No curbside parking is permitted.

Exhibit 5 illustrates the landscape design for Gonzales Road. Landscape materials to be used are defined below:

Median

Palm trees consistent with the City's Streetscape Master Plan for Gonzales Road
Ground cover, shrubs and safety paving per City standards

Parkway

24" box *Cinnamomum camphora*

40 ft. on center

36" box *Pinus elderica*/Afghan Pine or

36" box *Cedrus deodara*

30 ft. on center

Turf

Backdrop

Shrubs & ground cover and/or vines planted on walls.

The median strip is to be planted with a formal row of palm trees consistent with the median design to the east. The parkway will contain a broad canopy street tree with a dense row of the major conifers (such as Cedars or Pines) to be planted approximately 15 feet to the north of the sidewalk on the northern side of Gonzales Road, to further buffer the *Residential Community* from the visual and noise impacts of the roadway.

Exhibits 6 and 7 show the lane configuration, median and turn pocket design, traffic control devices, and allowed turn movements on Gonzales Road between Patterson Road and Victoria Avenue.

Victoria Avenue

This is a major north-south street forming the western edge of the City, connecting from the Oxnard Harbor to the Oxnard Airport and north across the Santa Clara River to Highway 101 and the City of Ventura. Along the edge of the *Specific Plan Area*, the Victoria Avenue *frontage* is designed to retain the existing eucalyptus windrow, bicycle lane, and drainage channel. Access to the *Affordable Housing Planning Area* will be provided from the existing driveway serving the site of the former convent. An existing southbound left turn lane and acceleration lane in the median of Victoria Avenue provide left turn access at this location.

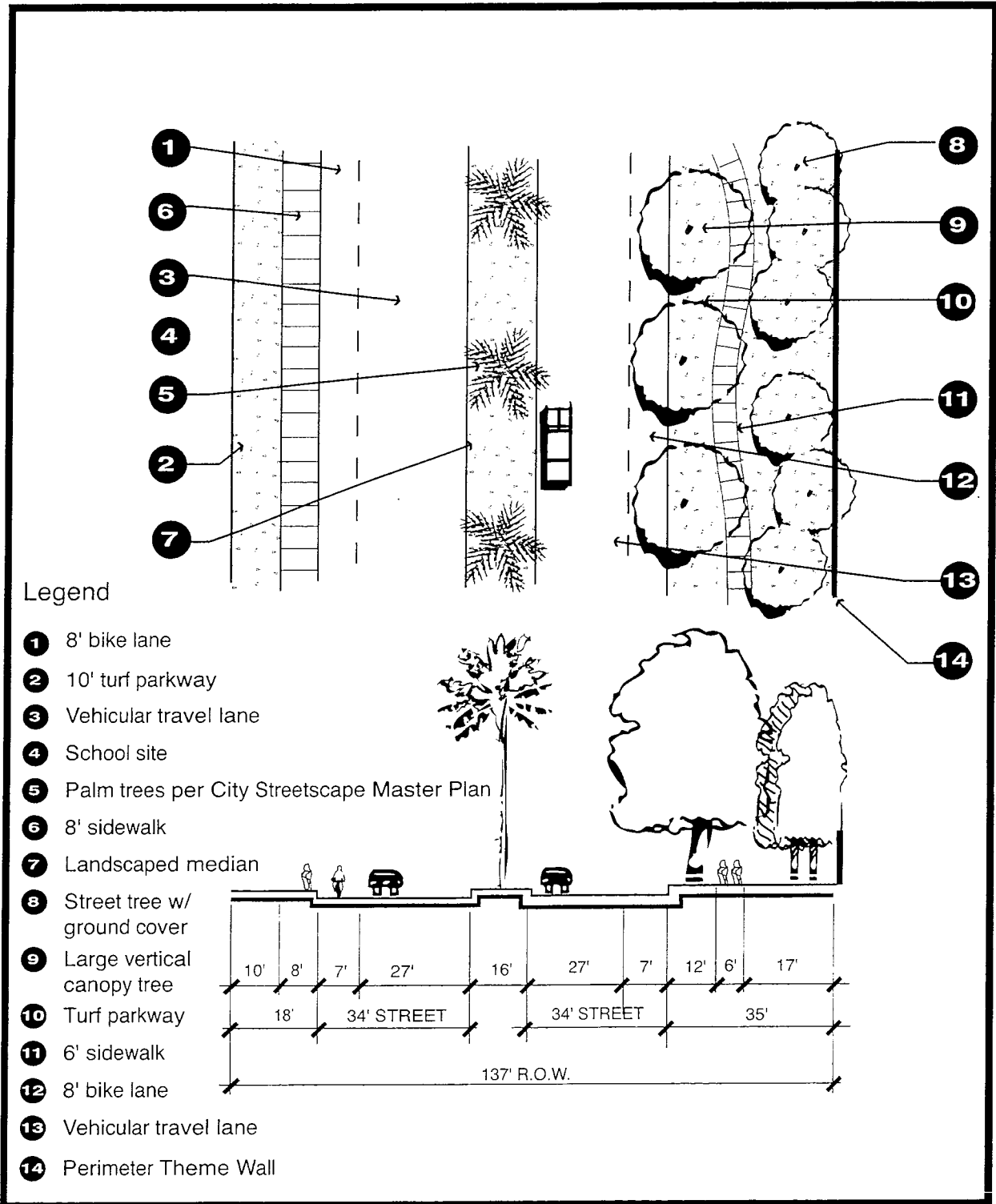
This *Specific Plan* includes a design to improve bicycle and pedestrian circulation on Victoria Avenue where the golf course will be built adjacent to the road. This design, as shown in **Exhibit 8**, would involve relocating the bicycle and walking trail to the eastern side of the drainage channel to provide separation from vehicle traffic on Victoria Avenue. Implementation of this design is constrained by the existing ownership of easements along Victoria Avenue by various public agencies. This trail design will be finalized and built at the time the City builds the golf course, provided sufficient right-of-way can be acquired by the City. Landscape materials to be used are defined below:

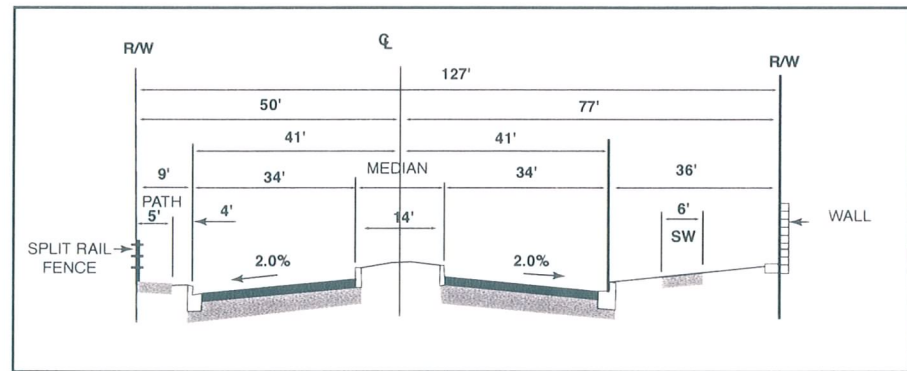
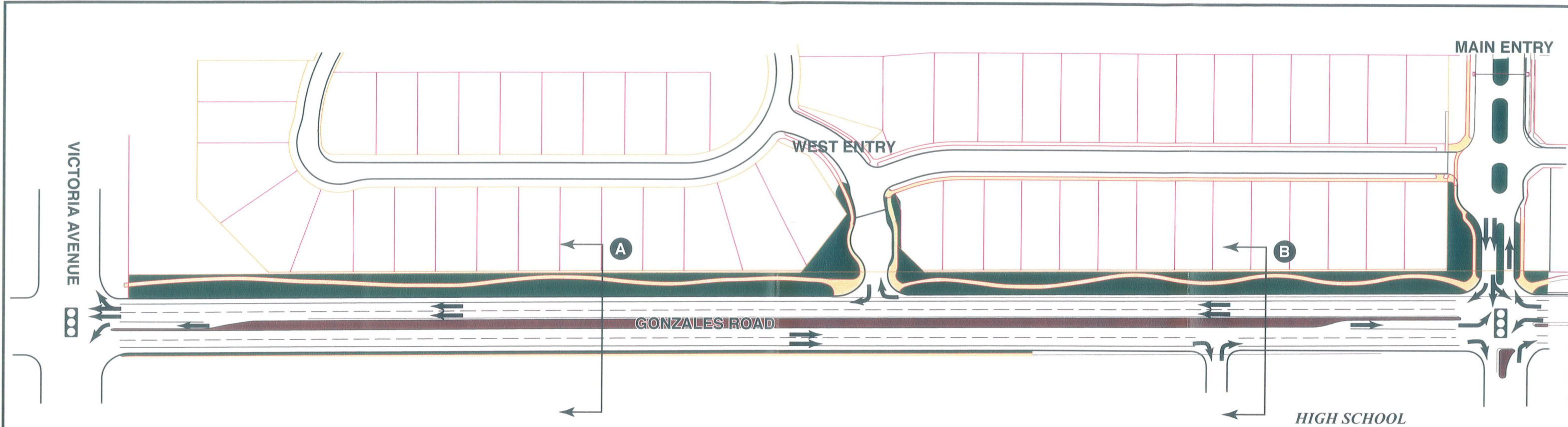
Existing Double Eucalyptus Row

Supplement with additional eucalyptus trees in gaps

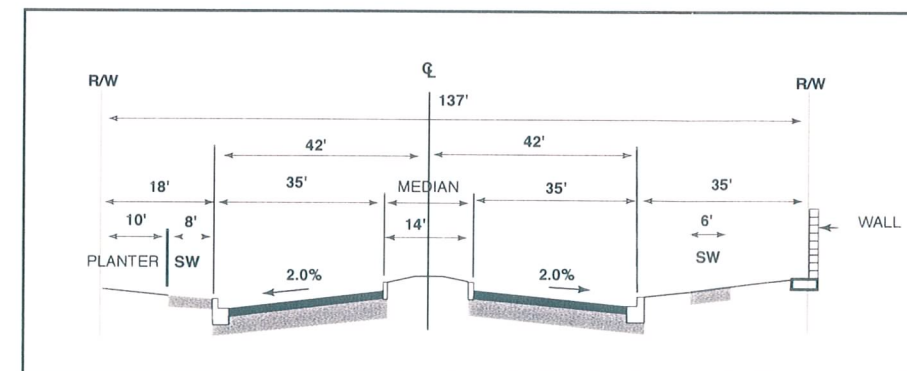
Shredded leaf litter & mulch ground cover.

Exhibit 5 – Gonzales Road Landscape Design



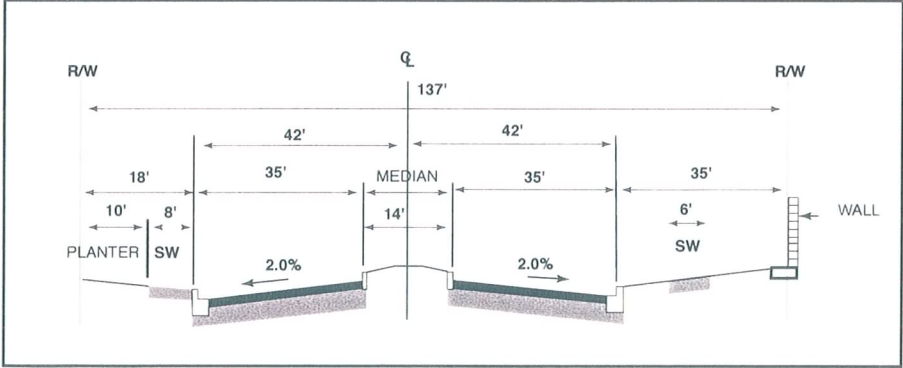
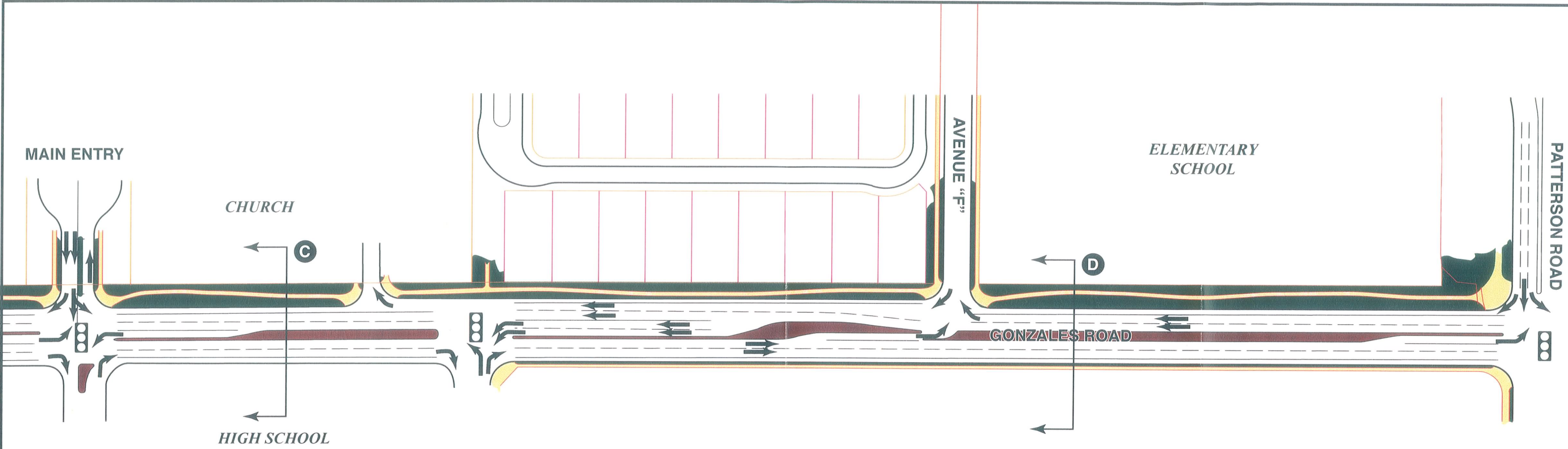


A Gonzales Road at Project

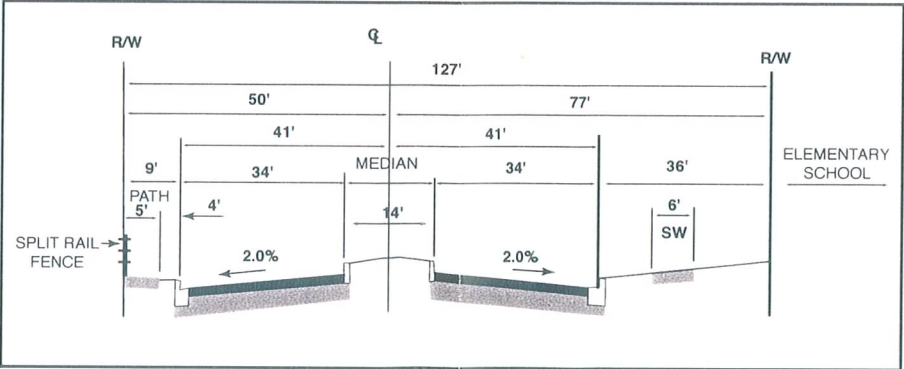


B Gonzales Road at High School





C Gonzales Road at High School



D Gonzales Road at Elementary School

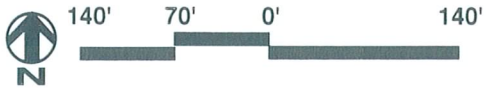
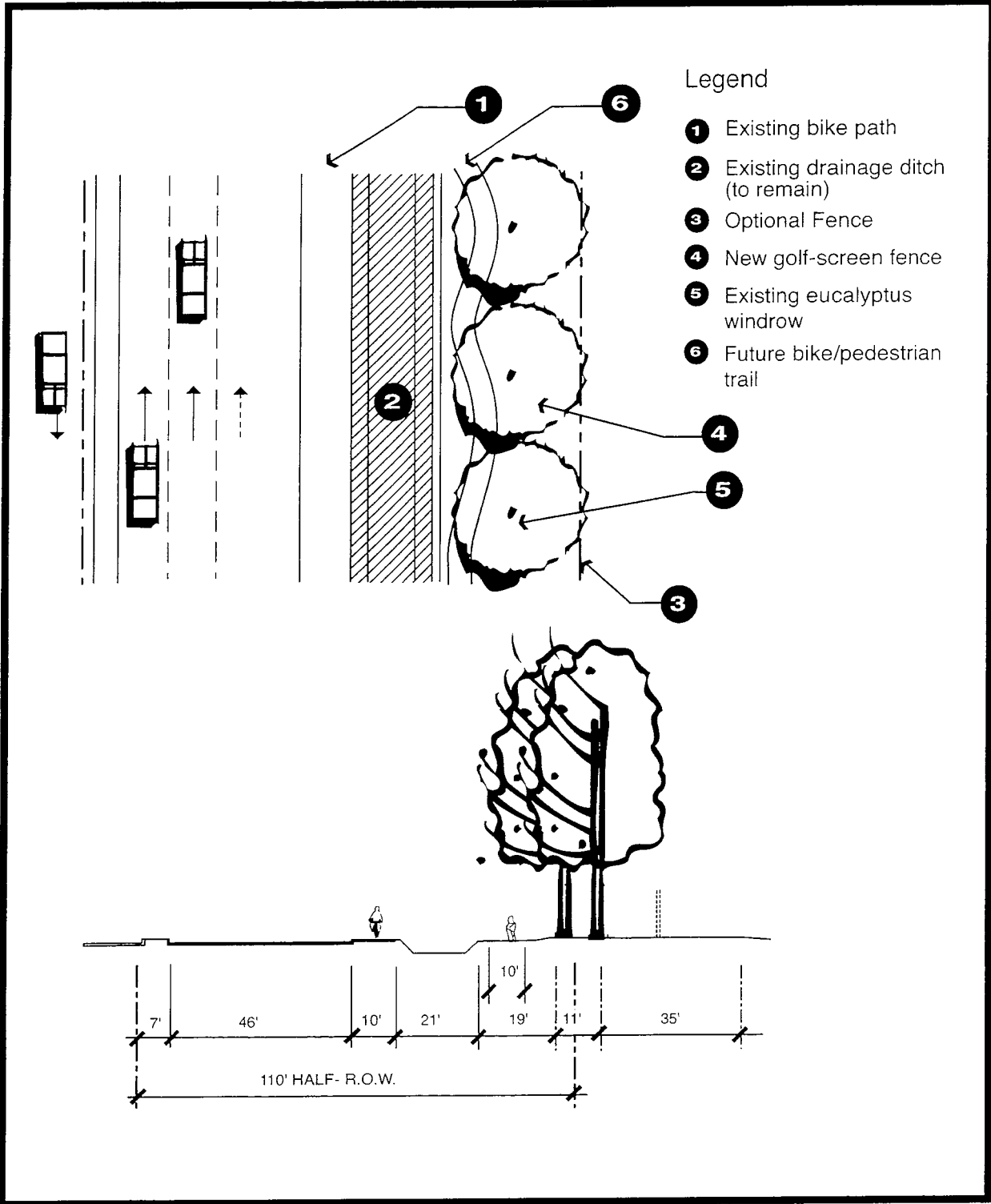


Exhibit 8 – Victoria Avenue Landscape Design



The existing windrow will provide a dense buffer between Victoria Avenue and the golf course. A fence will be constructed where necessary to the east of the windrow to provide security for the golf course and to control the flight of golf balls.

Patterson Road

Patterson Road is an existing divided roadway located next to the *Specific Plan Area*. Southbound Patterson Road from Bermuda Dunes Drive south will be widened to provide three (3) lanes of travel as shown on **Exhibit 9**. The existing linear parkway and drainage channel improvements along its western edge are to be retained and enhanced through the construction of a boundary wall and related landscaping at its western edge.

Existing Linear Parkway/Drainage Channel

Cedrus deodara / Deodar Cedar
30 ft. on center

Median and Parkways

Previously Established

Access to the *Specialized Commercial Office Planning Area* will be provided directly from the northern portion of Patterson Road.

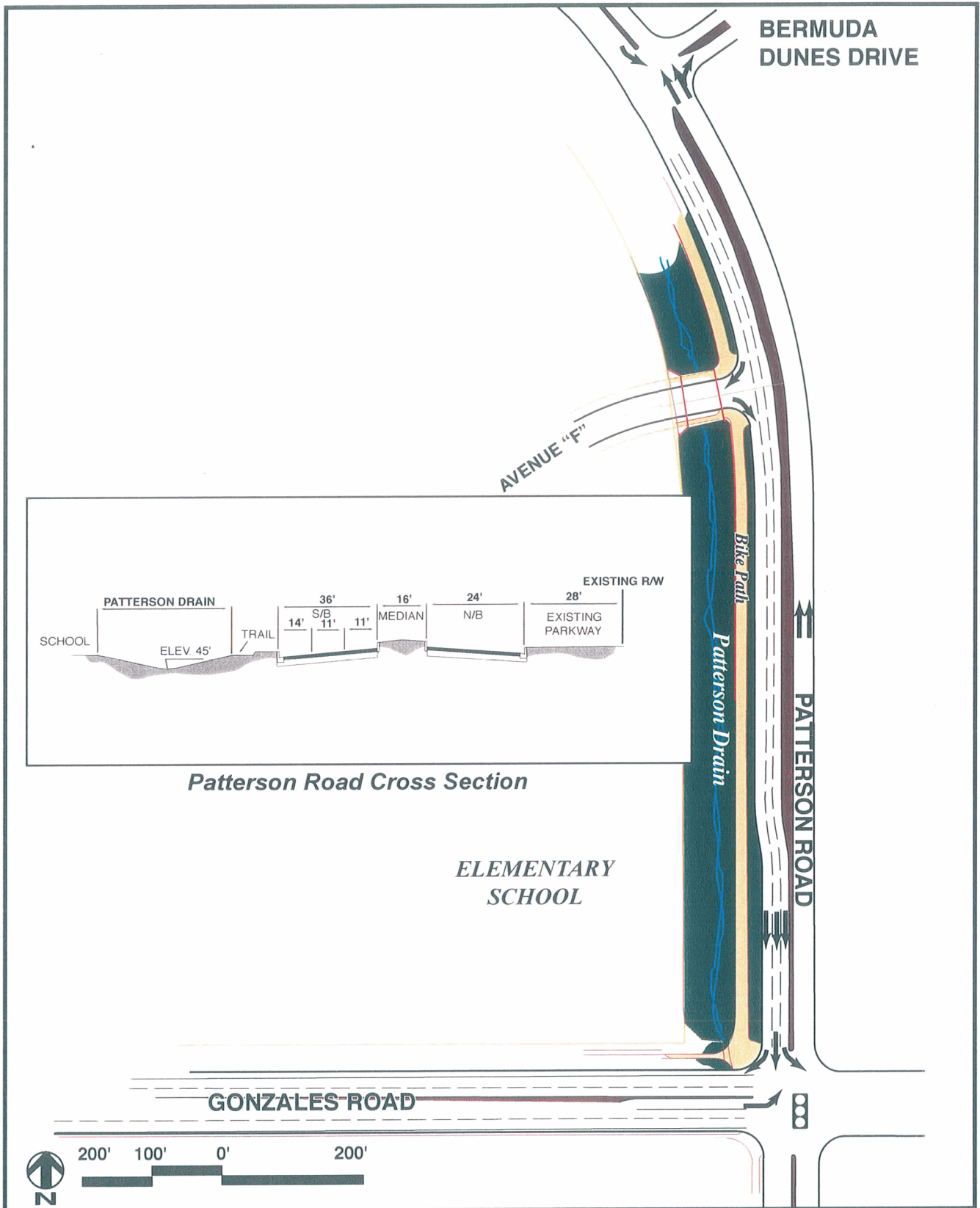
b. Avenues

Avenues are located and detailed with the following intentions:

- Provide clear access from the *Major Streets* into the *Residential Community*;
- Connect the *West, Central and East Neighborhoods* within the *Residential Community* to one another;
- Accommodate low to moderate volumes of vehicular traffic at slow to moderate speeds;
- Graciously accommodate pedestrians and bicyclists; and
- Provide distinctive *frontages* for high-quality buildings, with convenient curbside parking for visitors.

Six *Avenues* are planned in the *Specific Plan Area* as shown in **Exhibit 3**. The final alignment of these *Avenues* will be determined through the approval of subdivision maps. The final alignments shall substantially conform to the locations shown on the *Land Use Concept Plan Diagram*. All *Avenues*

Exhibit 9 – Patterson Road Street Improvements



located within the access gates, including parkways and sidewalks, will be private and shall be maintained by or through a homeowners association. A brief description of the functional and physical characteristics of each *Avenue* is provided below:

Avenue A

This primary entry *Avenue* from Gonzales Road to the *Residential Community* is defined by the *Landscape Green* that divides the inbound and outbound travel lanes of the *Avenue*. One (1) vehicular travel lane will be provided in each direction around a wide landscaped median. This entry to the *Residential Community* is designed as a formal gateway, which will be provided with a controlled access gate.

Street amenities shall include decorative elements, such as fountains and seating areas, neighborhood signage and walkways. The street shall be enhanced by decorative paving at the intersection with Gonzales Road; the churches and the entry gates accent Avenue A. A schematic landscape design plan of this entry is illustrated in **Exhibit 10**. Plant materials to be used are defined below:

Median & Parkway

Fraxinus uhdei/Evergreen Ash
36" box
50 ft. on center
Turf or ground cover parkway

Backdrop

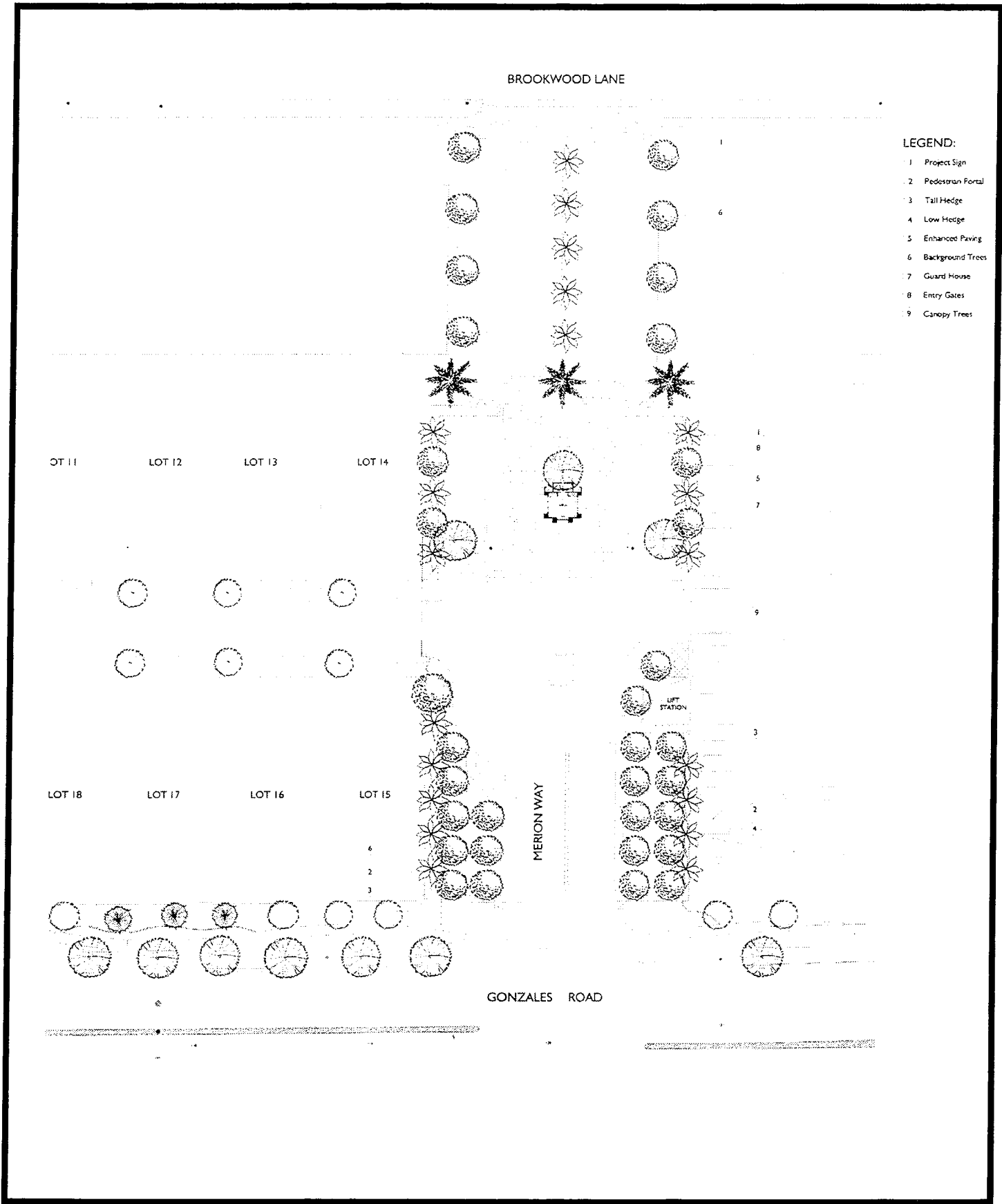
Shrub ground plane

Accent Trees (located in key areas)

Schinus molle/California Pepper
36" box
Tipuana tipu/Tipu Tree
36" box
30 ft. on center
Shrub ground plane

Both the Ash and the Pepper trees are large-scale tree species, which will provide a majestic canopy along the entry drive. They are also in character with the agricultural heritage of the site and compliment the scale of the existing eucalyptus windrows. The trees will be located in a formal grove.

Exhibit 10 – Avenue “A” Landscape Design Plan



Avenue B

This *Avenue* provides east-west access between the *West, Central* and *East Neighborhoods* and extends from Avenue D to Avenue F. Two (2) vehicular travel lanes will be provided, with a curb-to-curb dimension of 36 feet, 10 foot parkways and 5 foot sidewalks on both sides of the street. Avenue B is defined by strong rows of liquidambar trees, planted in a wide parkway strip in the *Central Neighborhood*. Camphor trees will be planted along Avenue B at the Central Community Green near Avenue A. **Exhibit 11** illustrates the landscape design for this *Avenue*. Plant materials to be used are defined below:

Street Trees

Liquidambar styraciflua/Palo Alto/American Sweet Gum
30 ft. on center
Turf Parkway

Accent Trees

36" box *Cinnamomum camphora* / Camphor tree
30 ft. on center
Turf Parkway

Avenue C

This east-west *Avenue* extends from the eastern end of the *Residential Community* to Avenue D. Two (2) vehicular travel lanes are to be provided, with a curb-to-curb dimension of 36 feet. An 8 foot parkway and a 5 foot sidewalk are to be provided on both sides of the street. Curbside parking will be permitted on both sides. Street trees are to be large vertical canopy-type trees. **Exhibit 12** illustrates the landscape design for this *Avenue*. Landscape materials to be used are defined below:

Street Trees(see Exhibit 4 for specific tree type location)

Liquidambar styraciflua/Palo Alto/American Sweet Gum
30 ft. on center
Turf Parkway

This street section will also be used for streets in the *Central Neighborhood* as shown in the *Circulation Master Plan* diagram with the street trees designated in the *Schematic Streetscape Master Plan* diagram.

Exhibit 11 – Avenue “B” Design

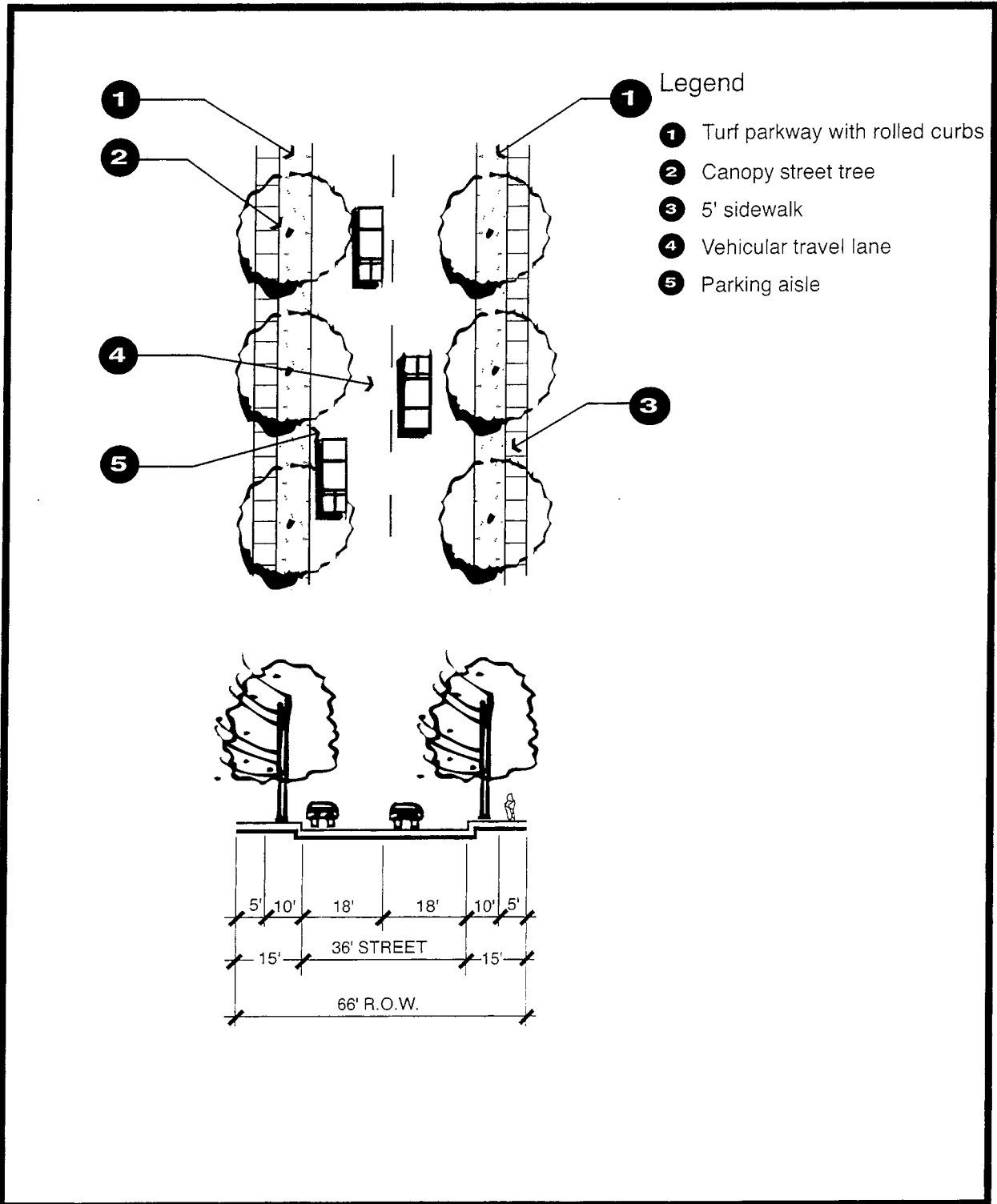
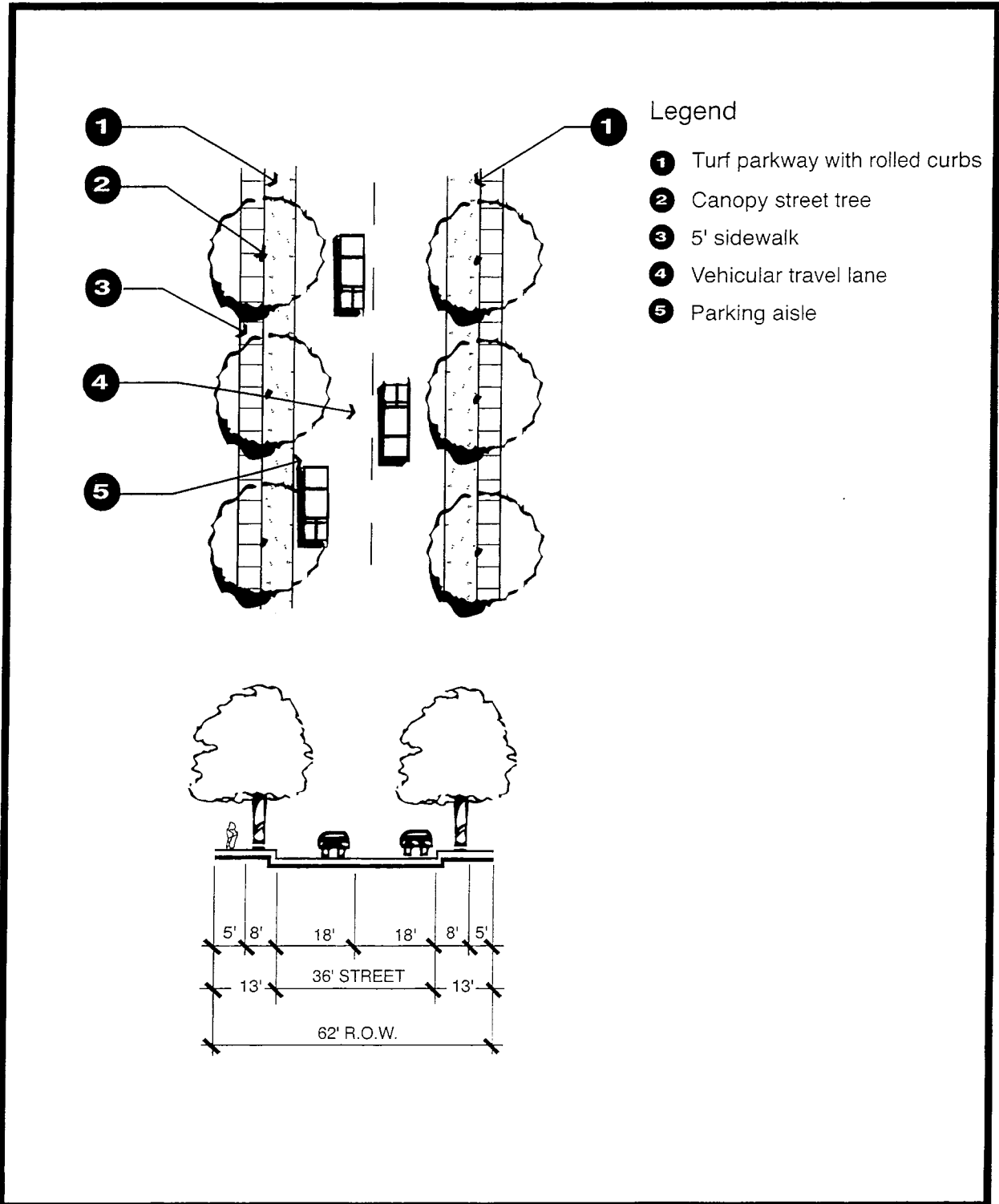


Exhibit 12 – Avenue “C” Design



Avenues D and E

Avenues D and E are the primary north-south streets in the *Specific Plan Area* providing access between the east-west *Avenues*. These *Avenues* are defined by the existing eucalyptus windrows that are to be preserved within the median parkway. These *Avenues* connect from Avenue B north to Avenue C. One (1) 12 foot travel lane is to be provided in each direction with an 8 foot wide parking lane within a curb-to-curb dimension of 20 feet on each side of the median. **Exhibit 13** illustrates the landscape design for these *Avenues*. As shown, the median is planned to be 24 feet in width on Avenue E and 34 feet in width on Avenue D. Prior to the approval of any subdivision maps creating these streets an arborist report shall be submitted for approval by the City demonstrating that a median width of 24 feet is sufficient to ensure the health of these trees. If necessary, this street section shall be modified to allow this median to be wider if needed and as determined by the arborist report. Landscape materials to be used are defined below:

Street Trees

Podocarpus gracilior / Fern Pine
30 ft. on center
Turf parkway

Existing Double Eucalyptus Row

Supplement with additional eucalyptus trees in gaps
Mulch ground cover or *Myoporum pacifica*

Avenue F

This *Avenue* is public and provides access to the elementary school site and to the *Residential Community* secondary entry from Patterson Avenue. Two (2) vehicular travel lanes are provided, with a curb-to-curb dimension of 40 feet. This *Avenue* is detailed with 7 foot parkway strips and 6 foot sidewalks on both sides. **Exhibit 14** illustrates the landscape design for this *Avenue*. Landscape materials to be used are defined below:

Street Trees

Cinnamomum camphora / Camphor
30 ft. on center
Turf parkway

Exhibit 13 – Avenues “D” and “E” Design

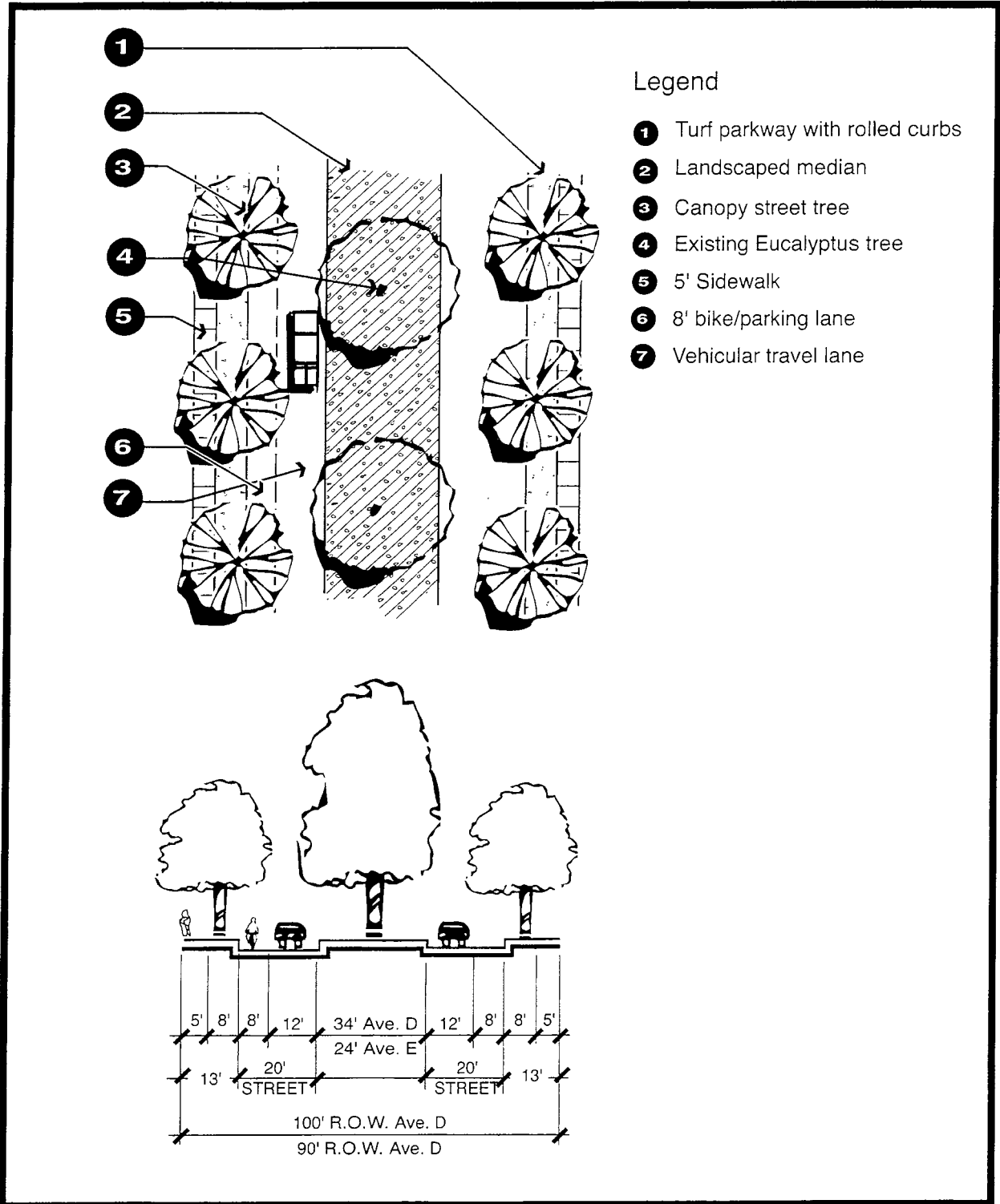
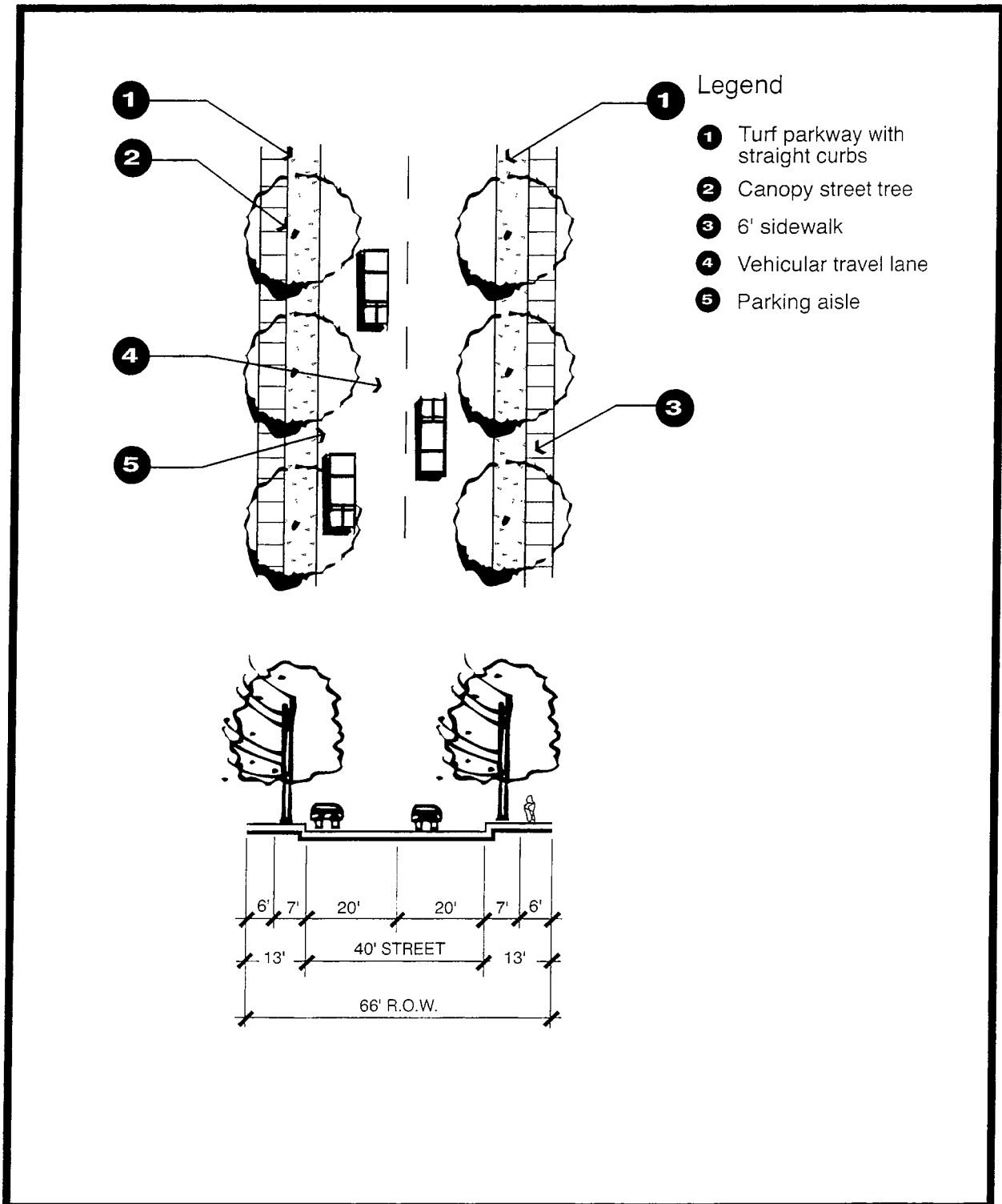
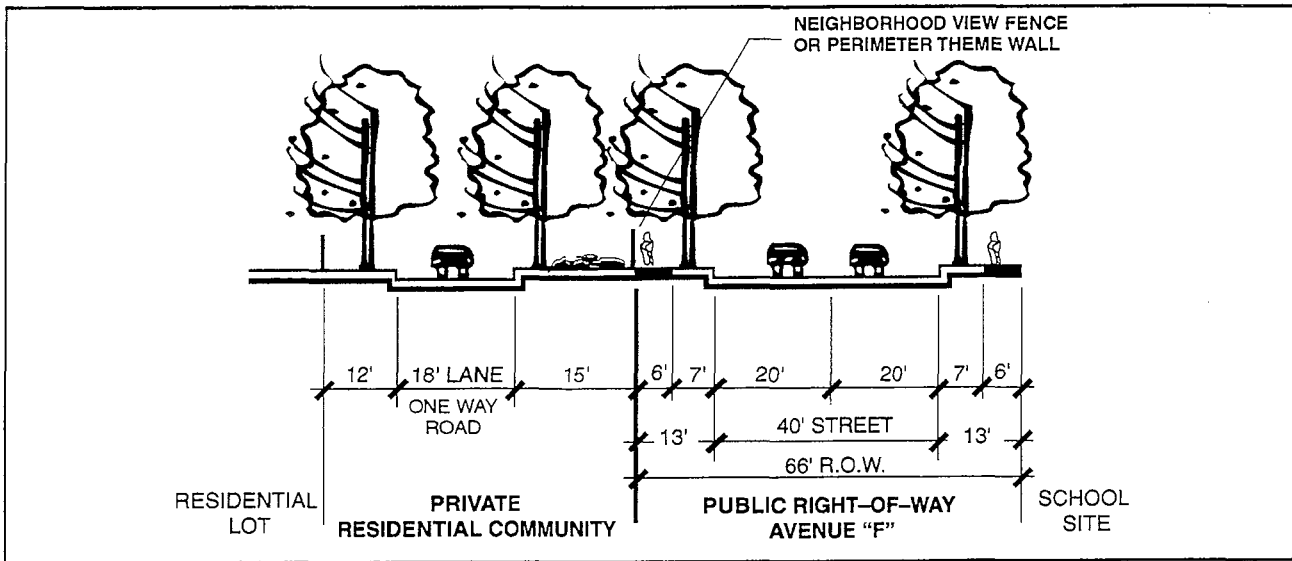


Exhibit 14 – Avenue “F” Design



As illustrated in **Exhibit 15** a portion of Avenue F will be located adjacent to a one-way private street at the location identified on **Exhibit 4**, Circulation Master Plan Diagram. **Exhibit 15** shows the landscape design along this edge. A pedestrian gate will be provided on this segment of Avenue F.

Exhibit 15 – One Way Road/Avenue F Design



c. Neighborhood Streets and Roads

Neighborhood Streets and Roads are located and detailed with the following intentions:

- Provide quiet, safe and attractive *frontages* for residential lots;
- Provide safe and convenient routes for pedestrians from homes to *landscape greens*, schools and other *institutional uses*; and
- Accommodate low volume vehicular traffic and bicycles at slow speeds.

The location of the *Neighborhood Streets and Roads* is shown in the *Circulation Master Plan Diagram*. The precise location of *Neighborhood Streets and Roads* shall be determined through the approval of subdivision maps.

Neighborhood Streets will provide two (2) vehicular travel lanes, with a curb-to-curb dimension of 32 feet and 12 foot shoulders containing a 7 foot landscape parkway and a 5 foot sidewalk. Street trees will vary from street to street, to provide a unique identity for each street. One (1) tree per lot will be typical, with trees planted in the landscape parkway.

The typical landscape design of a *Neighborhood Street* is shown in **Exhibit 16**. The following street trees may be used:

Street Trees

Cinnamomum camphora/Camphor

Liquidambar styraciflua/Sweetgum

Magnolia grandiflora/Southern Magnolia

Podocarpus gracilior/Fern Pine

Tipuana tipu/Tipu Tree

Ulmus parvifolia/Evergreen Elm

Neighborhood Roads will have a 48' right-of-way with curb-to-curb dimensions of 36', with an 11' parkway on one side of the road (6' parkway and 5' sidewalk). The typical landscape design of a *Neighborhood Road* is shown in **Exhibit 17**. Street trees will vary from street to street, to provide a unique identity for each street. One (1) tree per lot will be typical, with trees planted within the parkway. The same street trees as those listed above for *Neighborhood Streets* may be used for *Neighborhood Roads*.

d. Traffic Control

Specific street and intersection configurations have been designed for three key locations in the *Residential Community* to ensure safe and efficient traffic movement. **Exhibits 18** and **19** show the specific designs for these locations. As shown, traffic flow is restricted to one direction of travel in certain locations.

A traffic signal will be installed at the intersection of Avenue A and Gonzales Road when warranted by traffic volumes as determined by the City Traffic Engineer. This signal shall be interconnected and synchronized with the existing traffic signals on Gonzales Road at the entrance to the parking lot at Oxnard High School and at Patterson Road to maintain adequate traffic flow on Gonzales Road while providing sufficient access from adjacent streets and uses.

2.3 Open Space Plan

In addition to the golf course, this *Specific Plan* requires the creation of a variety of *Landscape Greens* located within the *Residential Community*. The location and general configurations of these *Landscape Greens* are shown on **Exhibit 20**, Open Space Master Plan Diagram, and this *Specific Plan* requires these greens to be located where shown on the Open Space Master Plan. The precise

Exhibit 16 – Typical Neighborhood Street Design

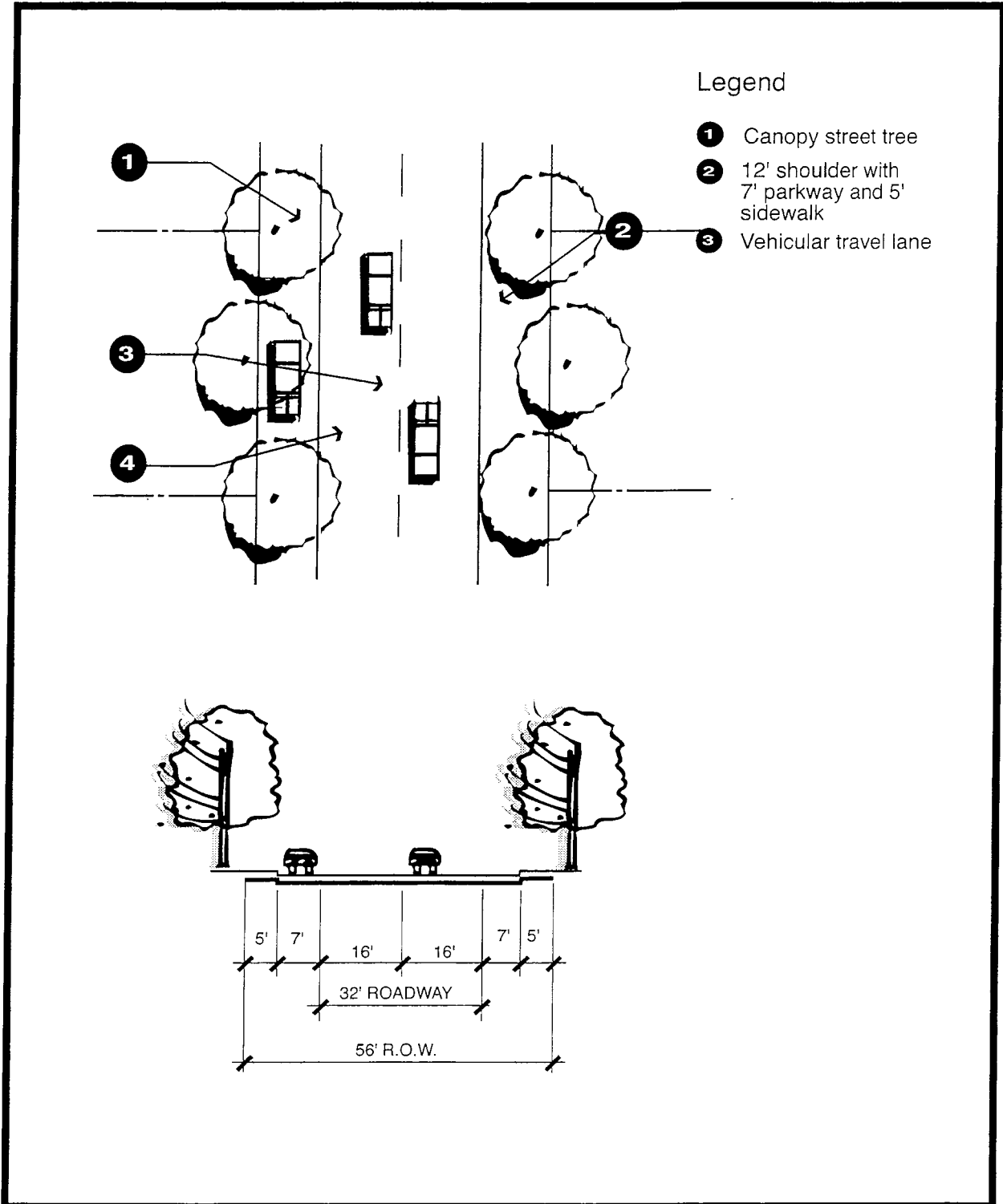


Exhibit 17 – Typical Neighborhood Road Design

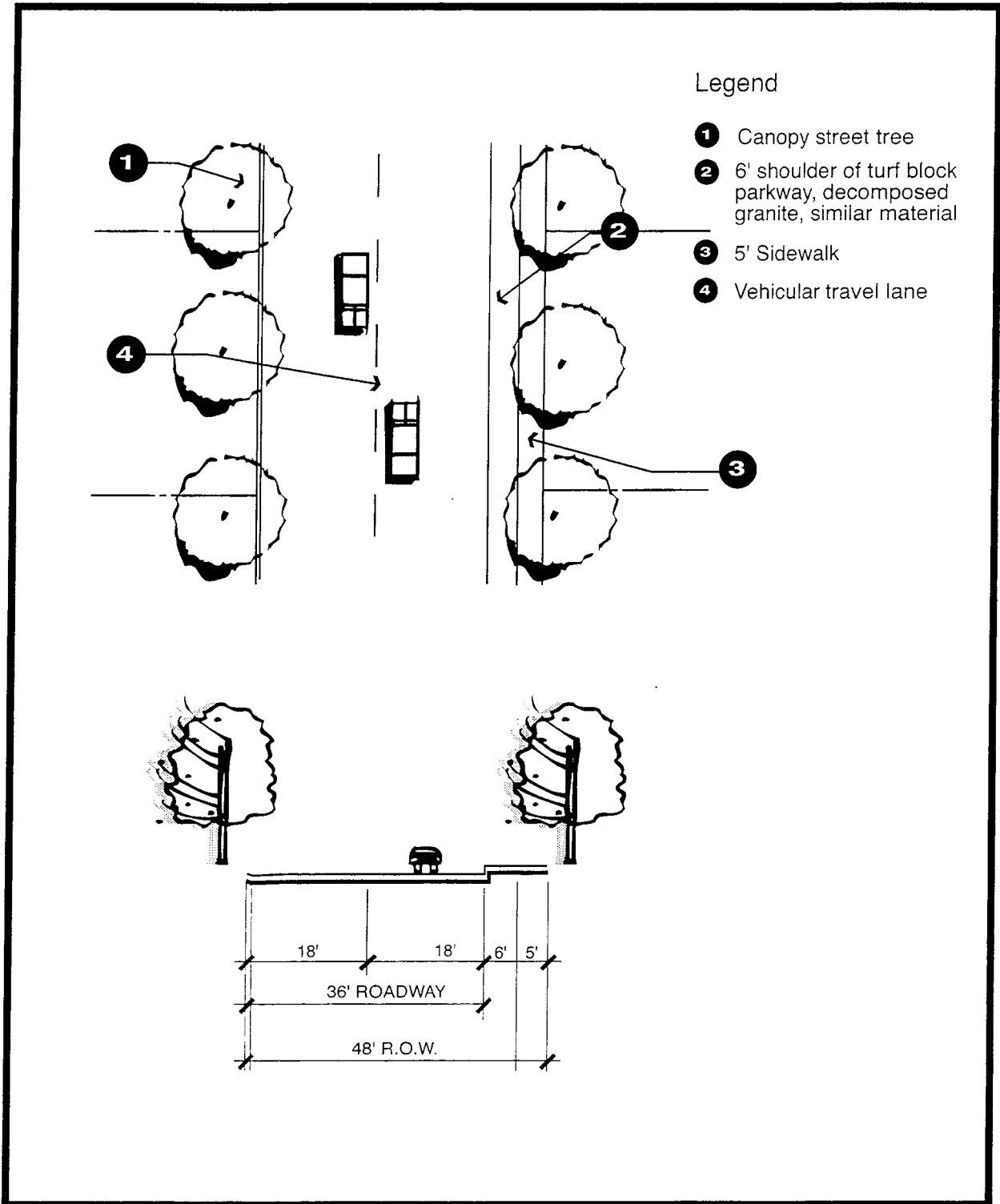
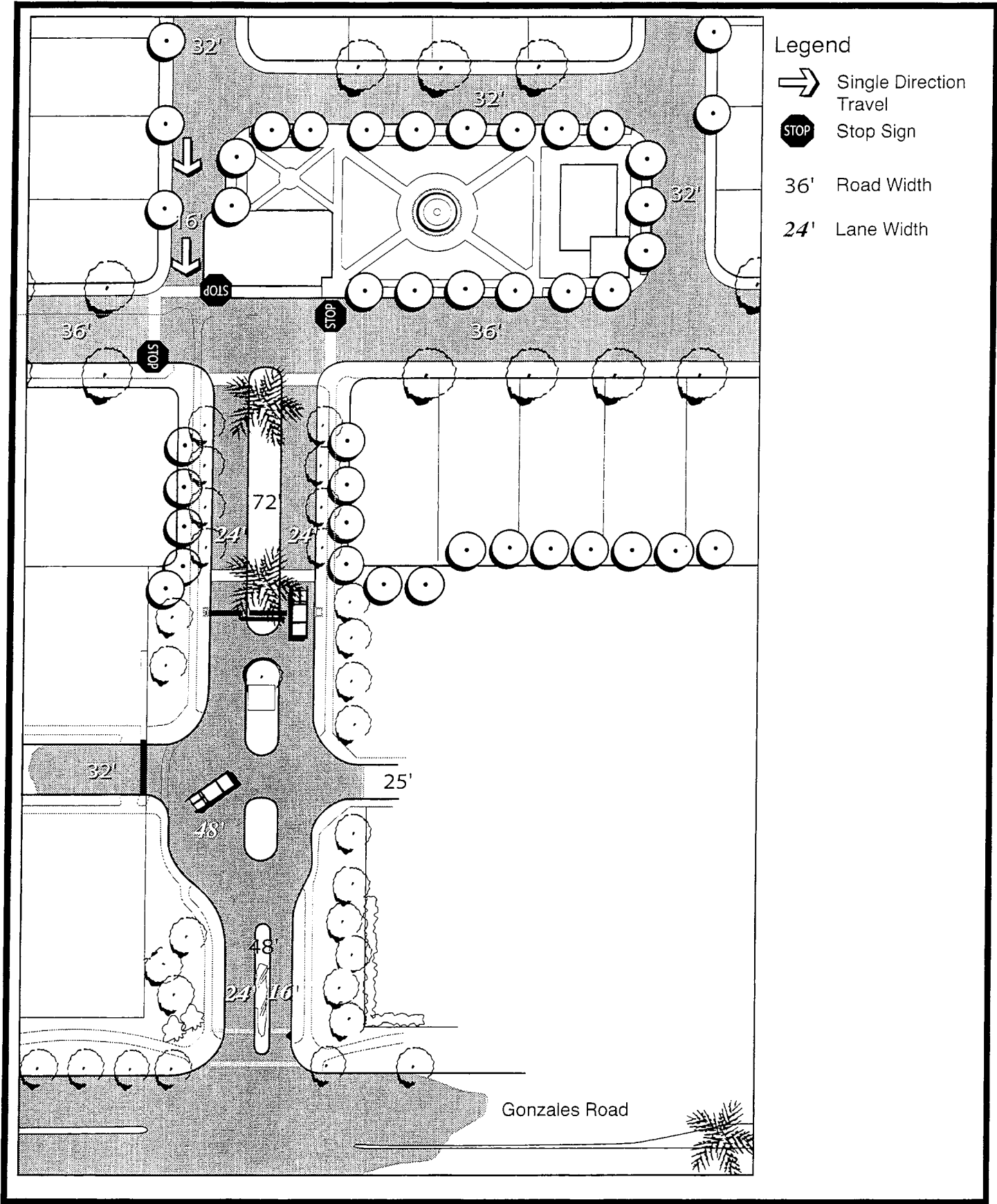
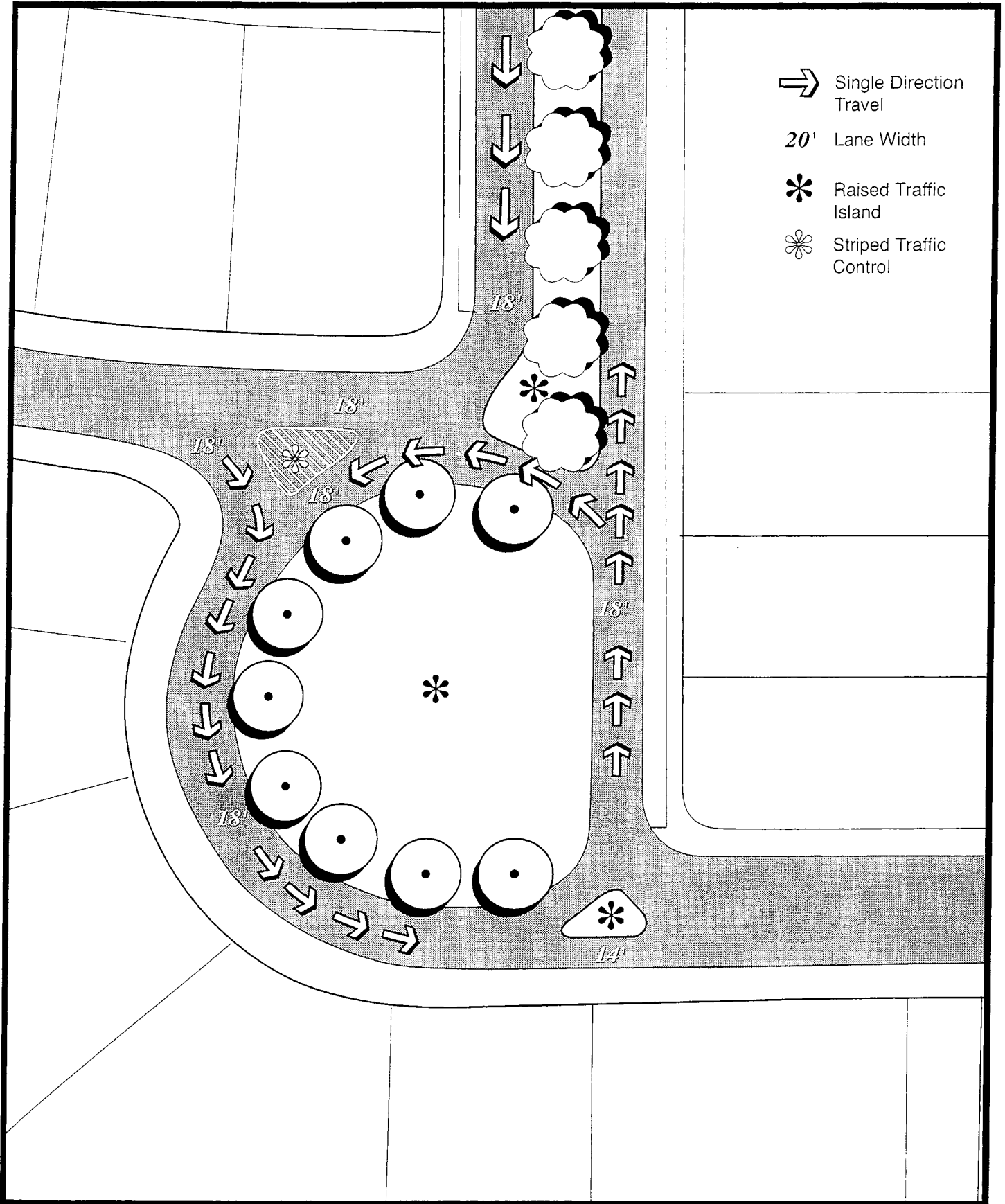


Exhibit 18 – Traffic Control–Main Entry



- Legend
- Single Direction Travel
 - STOP Stop Sign
 - 36' Road Width
 - 24' Lane Width

Exhibit 19 – Traffic Control–Avenue “D” at Avenue “B”



configuration of each *Landscape Green* shall be determined at the time subdivision maps creating the streets and residential lots are approved. Definition of the design characteristics of the *Landscape Greens* is provided below:

a. Main Entry 'Green'

A formal entry green is planned within the median of Avenue A from Gonzales Road. This *Landscape Green* is to be simple and formal in character, planted in turf, with a double row of canopy trees. It may contain fountains, art pieces, trellis structures, decorative walls and monuments related to the institutional and residential uses. It is intended to create a strong sense of arrival to the *Residential Community* and create a unique visual landmark for the community.

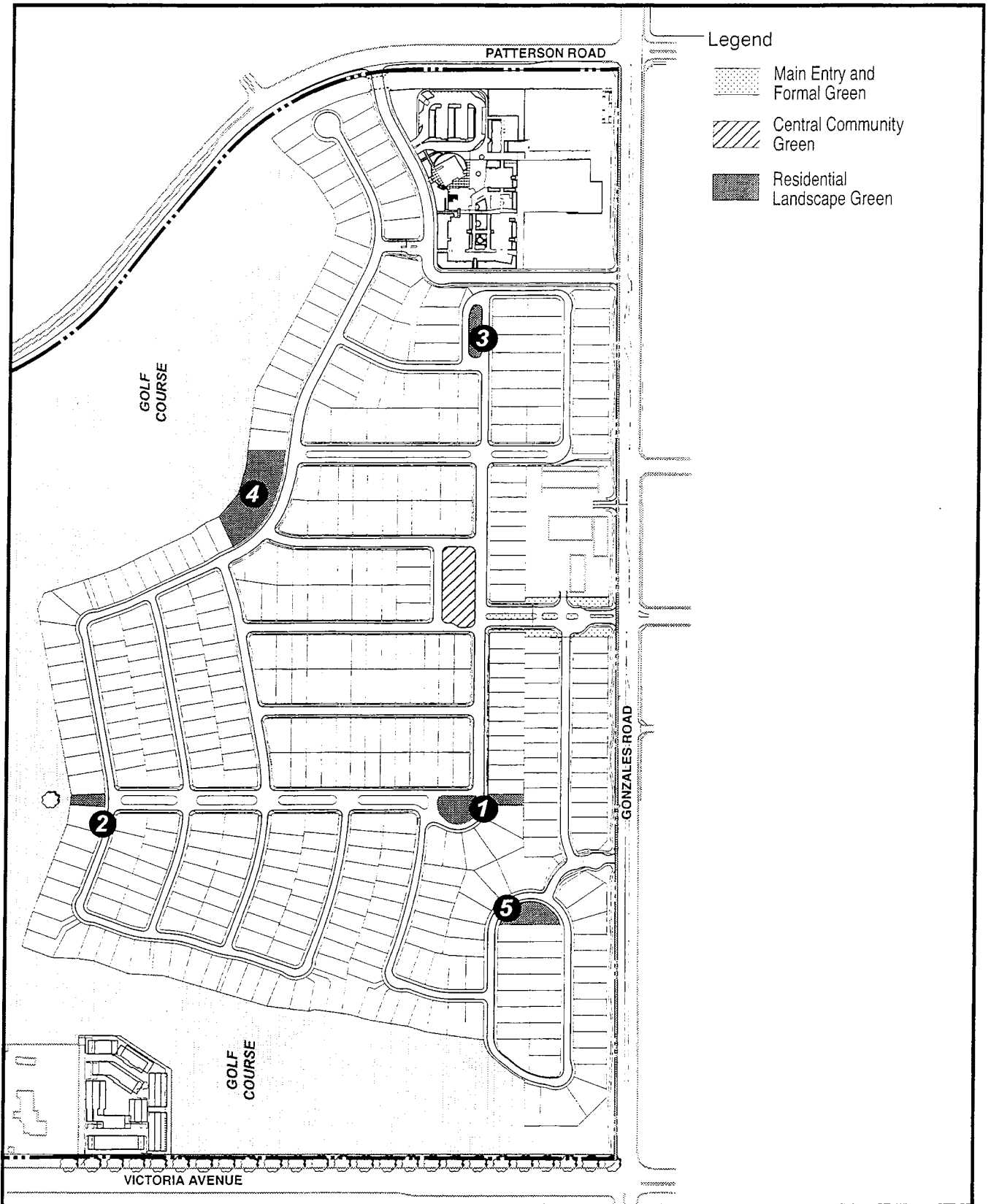
This formal entry is organized in three segments as shown on **Exhibit 10**. The three segments of the main entry are intended to be visually and spatially united by the strong rows of canopy trees enhanced by paving and consistent detailing. A description of the three segments of this green are provided below:

1. The smallest median to the south will incorporate tree and shrub planting in the center island. Taller walls on the outboard sides of the entry may include thematic archways for pedestrian access. A formal grove of canopy trees will frame the entry statement.
2. The largest central segment is flanked by sites for *Institutional Uses*; this area will contain a formal *Landscape Green*. The green may include a large turf area, fountains or special features, benches, walkways and large specimen canopy trees.
3. The northerly segment is defined by the entry gates. The entry features may include a staffed or keypad-controlled guardhouse, electronically controlled gates and a water feature. The entry will be flanked by the adjacent lots and will be enclosed by 8'-0" high walls. The gates may be wood or metal with a maximum height of 12'-0". The gates may slide or swing. The interior median will be planted with trees and shrubs.

b. Central Community Green

The Central Community Green terminates the axis of Avenue "A", inside the main entry gates of the *Residential Community*. The Green is to be formal in character, with a landmark near its west end, centered on the axis of Avenue "A". The green is approximately 100 feet by 220 feet in size. Rows of canopy trees bound the green. The interior of the green will include formal garden areas with colorful shrubs and bedding plants, and turf areas suitable for informal play activities for small children. Benches, tables and *gazebos* may be included in the design of this green. Fencing of areas, if provided, shall be high quality wrought iron or wood pickets allowing views into the play area.

Exhibit 20 – Open Space Master Plan Diagram



c. *Residential Community Landscape Greens*

The *Landscape Greens* distributed throughout the *Residential Planning Areas* are planned as places where families and neighbors can gather formally and informally to socialize, play, and relax. These *Landscape Greens* shall be located at street intersections and at the end of streets in the *Residential Planning Areas* in the locations shown on the Open Space Master Plan Diagram. The final configuration and design of the *Landscape Greens* in the *Residential Planning Areas* will be reviewed and approved through the subdivision map process. Fencing within or around these *Landscape Greens*, if provided, shall match the design of the frontage fences in the surrounding neighborhood.

1. The West Neighborhood Green is located at the western end of Avenue B, in the *West Neighborhood*. This green will be less formal than the Central Community Green. It is bounded on its east edge by the existing eucalyptus windrow. The windrow will be thinned and pruned, and underplanted with appropriate ground cover. The green will include benches, walkways, trellis structures, trees and shrubs. It may also include a tot-lot or half court basketball court. A second part of this green, located south of Avenue B, will contain trees, shrubs and groundcover.
2. The West Golf Course Green is located at the northern end of Avenue D. This green will allow views through to the golf course. This green may include benches, walkways, trellis structures, trees and shrubs.
3. The East Neighborhood Green is located at the eastern end of Avenue B, in the *East Neighborhood*. This green will be formal, similar to the Central Community Green. It is the smallest of the Greens and is not intended for active recreational use.
4. The Community Recreation Green is located at the northerly end of Avenue E. It is approximately 1.0 acre in size and flanks the golf course. This green will include active recreational facilities such as a swimming pool, tennis courts, outdoor dining areas, and a community building. The Community Recreation Green occupies the area designated as the *Private Recreation Planning Area* on the Land Use Diagram (Exhibit 21)
5. The Southwest Neighborhood Green consists of the area located at the end of the first block in the *West Neighborhood* nearest the southwest corner of the *Specific Plan Area*. This green will be informal with trees and shrubs along the western edge to provide a buffer to the adjacent homes and street trees along the eastern edge along the curve of the street. This green is large enough to accommodate limited recreational use. Development of a tot lot is allowed on this green.

2.4 Planning Areas

The design and use of land within the *Specific Plan Area* is regulated to create the special community characteristics envisioned by this *Specific Plan*. The configuration of the golf course and the variation in neighborhood character within the *Residential Community* is ensured through the definition of *Planning Areas*. In addition, this *Specific Plan* creates special planning areas to facilitate the development of affordable housing and the reconstruction of the historic McLoughlin Home.

This *Specific Plan* creates a *Public Recreation Planning Area* for the golf course, a *Public School Planning Area* for a new public elementary school, an *Institutional Planning Area* for churches and related uses, and a *Residential Planning Area*. An *Affordable Housing Planning Area* is created for a portion of the *Specific Plan Area* provided for development of an affordable housing project and a *Specialized Commercial Office Planning Area* is created to provide a site for the reconstruction of the McLoughlin Home.

The location and approximate boundaries of the *Planning Areas* are shown in **Exhibit 21**, Land Use Diagram. The approximate size of each *Planning Area* is shown in **Table 1**. The approximate amount of land to be used for streets and the amount of land required to be provided in *Landscape Greens* and other landscaping in the *Residential Community* is also shown in **Table 1**.

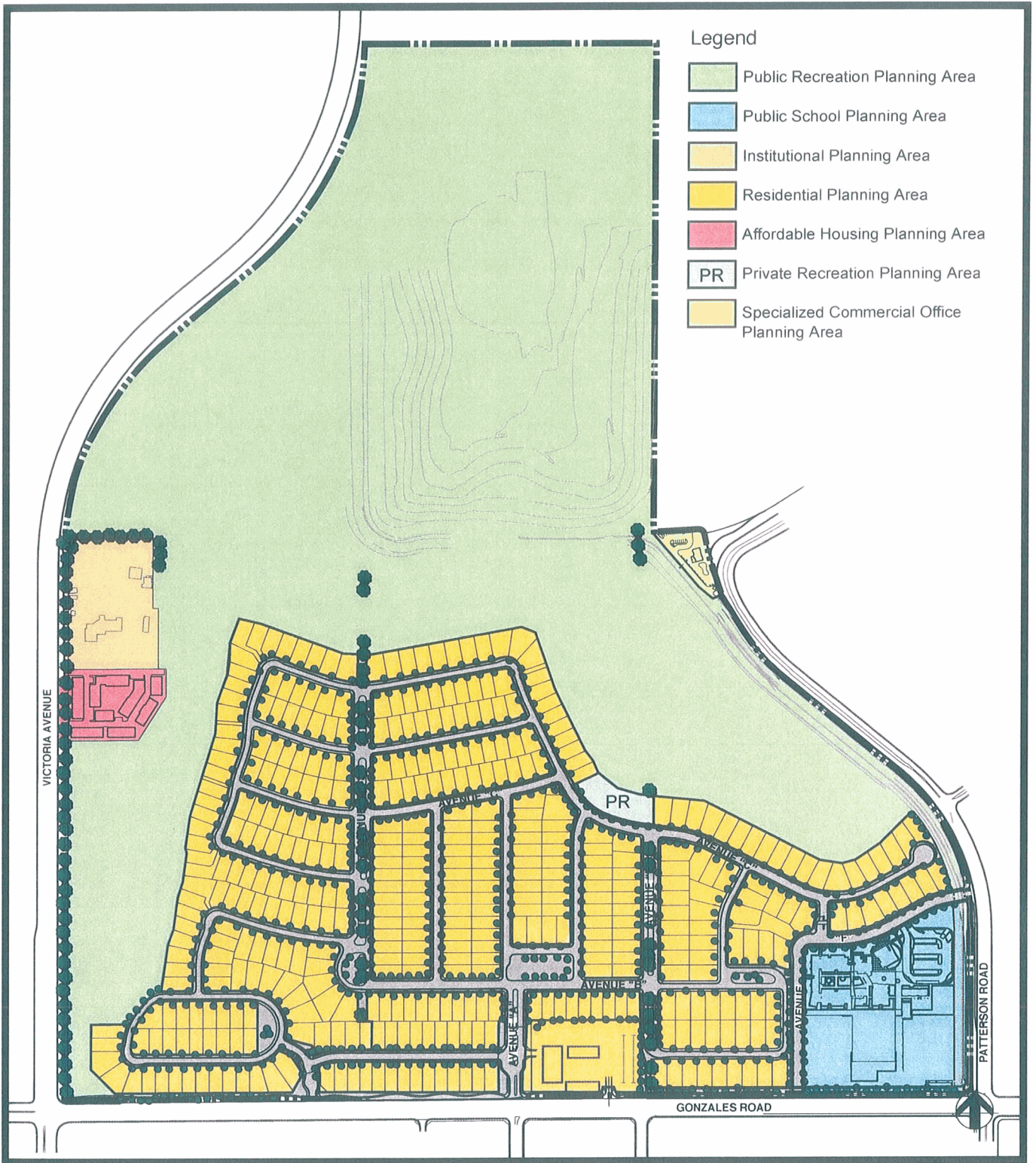
Table 1
Allowed Land Uses *

Planning Area/Use	Approximate Amount (in acres)	Maximum Allowed Density or F.A.R.
Public Recreation Planning Area (Golf Course)	171	NA
<i>Residential Community</i>		
Institutional Planning Areas	12	.30
Private Recreation Planning Area	1	NA
Residential Planning Area	86	451 Units
Public School Planning Area	11	NA
<i>Other Land Uses in Residential Community:</i>		
Streets	24	NA
Landscape Greens & other landscape areas	6	NA
Patterson Drain	8	NA
Affordable Housing Area	3	54 Units
Specialized Commercial Office Area	1	NA
TOTAL	323	NA

*These sizes are approximate. Substantial conformance with this distribution of land uses is required at the time subdivision maps are approved.

A description of the intent and physical characteristics of each of these *Planning Areas* is also provided below. The precise boundaries and size of the *Planning Areas* will be defined through the subdivision map process and shall substantially conform to the boundaries shown in the *Planning Area Diagram*. The minimum and maximum intensities of the allowed land uses are identified in **Table 1** and in the descriptions of the *Planning Areas* provided below.

Exhibit 21 – Land Use Diagram



In addition, the *Institutional Planning Area* located on the west side of Avenue A may, alternatively, be developed with up to 25 single-family homes upon the same terms and subject to the same standards as applicable to the single-family homes located in the *Central Neighborhood*, in which event, such *Institutional Planning Area* shall be added to and comprise a part of the *Central Neighborhood*.

The other two (2) sites included in the *Institutional Planning Area* includes the five acres containing the site of the former Sister Servants of Mary Convent, and immediately north of the Convent site, a residence. This *Specific Plan* also allows the continued use of this existing single-family residence for residential use, or conversion of this structure and site to an allowed *Institutional Use*. This *Specific Plan* also allows the continued use of the convent facility for institutional use consistent with the *Special Use Permit* issued by the County of Ventura. Any future change in the use of this facility will require the issuance of a new *Special Use Permit* by the City.

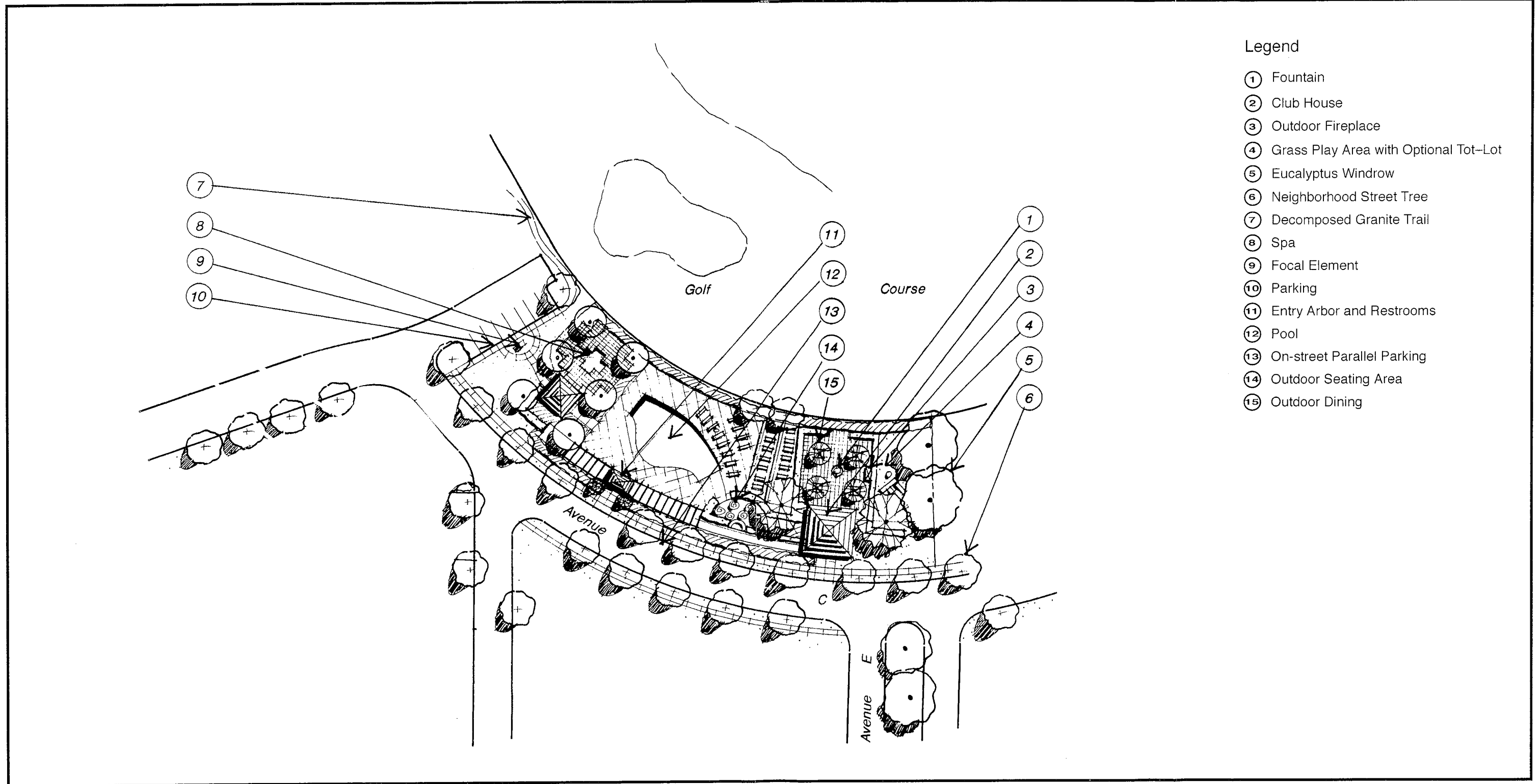
d. Residential Planning Areas

The Single Family R-1 Use Type, as defined in the City of Oxnard *Zoning Code*, is permitted within the *Residential Planning Areas*. Minimum lot sizes and development standards are provided in **Chapter 3.0**, Development Standards and Design Guidelines.

e. Private Recreation Planning Area

This *Planning Area* allows the development of a private recreation facility for the *Residential Community*. The recreation area shall be located along the golf course to allow open views and golf course-close recreation for all homeowners to enjoy. The *Private Recreation Planning Area* shall be a minimum of 1.0 acre in size. An illustrative plan showing allowed facilities is presented in **Exhibit 22**.

Allowed development in this *Planning Area* includes a community recreation building containing meeting and activity rooms with kitchen facilities, parking, and outdoor recreation facilities. Other allowed recreation elements may include, but are not limited to, a swimming pool, spa, playground, barbecue, fireplace, fountains, seating areas, trellis and shade structures, and grass and hard court play areas and a tot-lot. Parking for residents using these facilities will be allowed on Avenue C. The issuance of a *Development Design Review Permit* is required for the development and use of this site.



Legend

- ① Fountain
- ② Club House
- ③ Outdoor Fireplace
- ④ Grass Play Area with Optional Tot-Lot
- ⑤ Eucalyptus Windrow
- ⑥ Neighborhood Street Tree
- ⑦ Decomposed Granite Trail
- ⑧ Spa
- ⑨ Focal Element
- ⑩ Parking
- ⑪ Entry Arbor and Restrooms
- ⑫ Pool
- ⑬ On-street Parallel Parking
- ⑭ Outdoor Seating Area
- ⑮ Outdoor Dining

f. Affordable Housing Planning Area

This *Planning Area* has been created to provide a site for development of a single affordable housing project. This is the only allowed use in this *Planning Area*.

g. Specialized Commercial Office Planning Area

This *Planning Area* has been created to provide a site for the reconstruction of the McLoughlin House. After reconstruction, the home may be used for commercial office purposes. This is the only allowed use in this *Planning Area*. Berming shall be provided on the commercial office site parallel to, and immediately adjacent to, the roadway edge along Patterson Road where the roadway curves and turns into Vineyard Avenue.

2.5 Utility Master Plans

This section presents the master plans for utility improvements. The precise location and size of the water and sewer lines and storm drain facilities shown on the master plan diagrams may be modified as part of the subdivision map process.

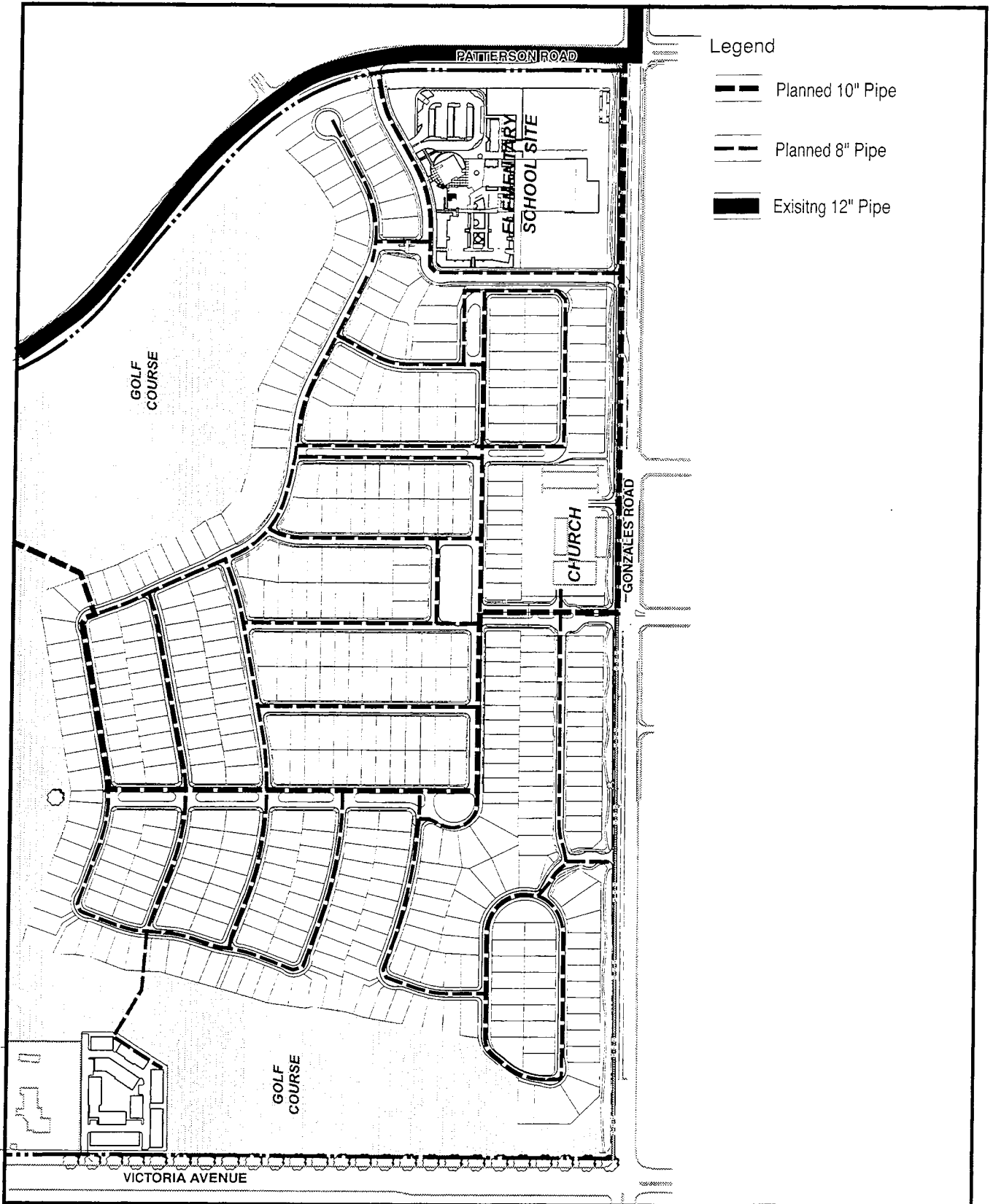
a. Water System

The City of Oxnard Water Master Plan Report outlines the City's planned water supply network. The Water Master Plan addresses system capacity and water supply management in order to guide the build-out of a water supply network that can accommodate land uses allowed to develop by the *2020 General Plan*. The Water Master Plan does not identify a water supply network within the *Specific Plan Area*, although a network of 10-inch and 12-inch lines serving existing residential uses are found in the area. Twelve-inch lines are presently located within Gonzales Road and Vineyard Avenue to the east of Patterson Road. A 10-inch line is located within Patterson Road. These existing mains are shown on **Exhibit 23, Water Master Plan Diagram**.

Planned Improvements

As part of the on-going process to update the City of Oxnard's Water Master Plan Report, a Water Master Plan study was conducted to design an extension of the City's water system to serve the uses allowed by the *Specific Plan*. That study is an appendix to EIR-97031009, which is on file at the City Planning Program.

Exhibit 23 – Water Master Plan Diagram



As shown on **Exhibit 23**, a network of 8-inch and 10-inch water lines is proposed along the planned roadways within the *Specific Plan Area*. In addition, a new water line will be provided to the convent complex and *Affordable Housing Planning Area* on Victoria Avenue. The lines would connect to the existing mains found in Gonzales Road and Patterson Road, and to a planned westerly extension of the Gonzales Road main. The construction of the lines would create a looped system that conforms to all City standards. The system has been designed in accordance with the methodology utilized in the City's Water Master Plan. The *Specialized Commercial Office Planning Area* would be served from the existing line in Vineyard Avenue.

b. Sanitary Sewer System

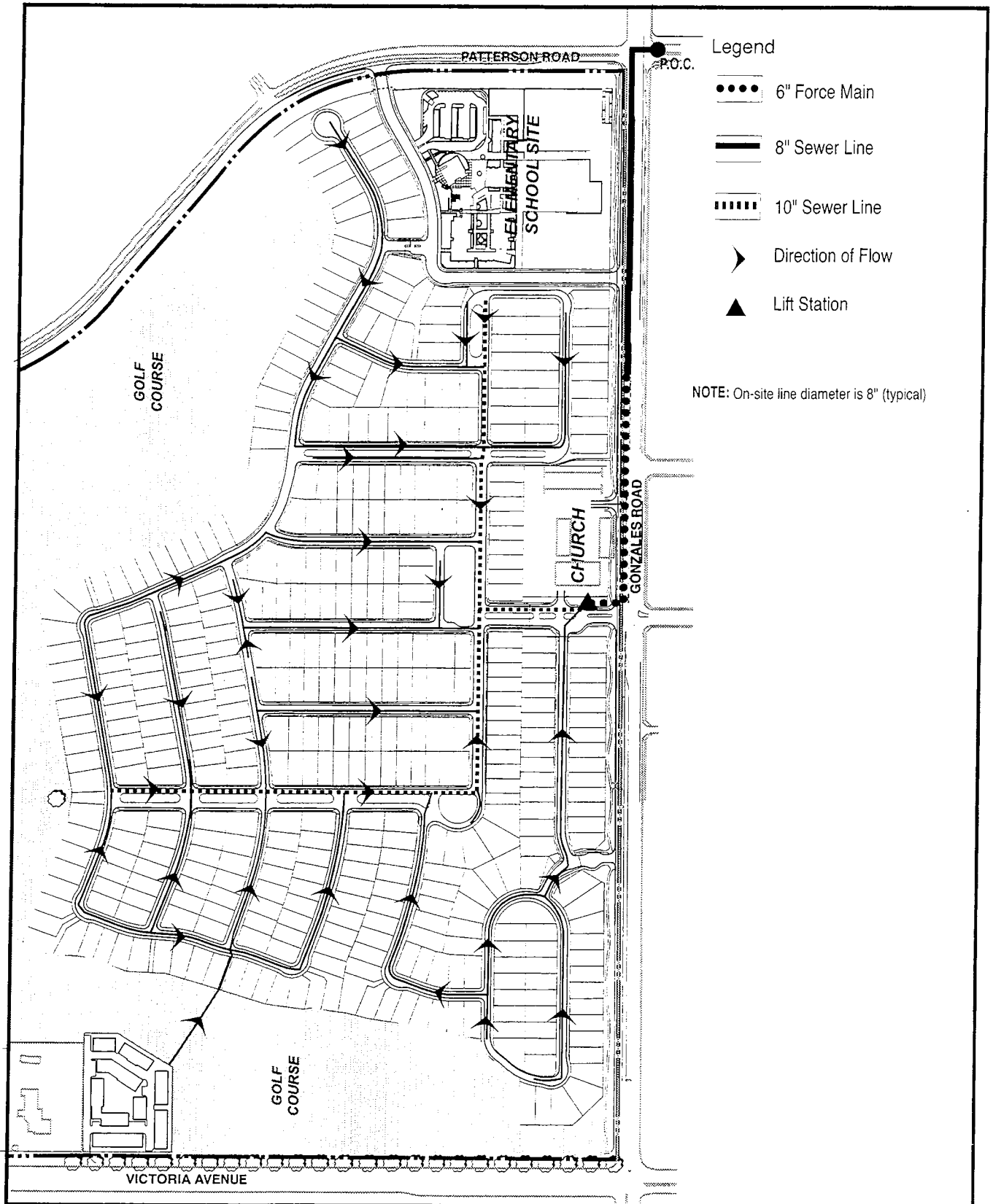
Development of the uses allowed by the *Specific Plan* requires the construction of an on-site sewer collection and conveyance system to collect and channel effluent for ultimate treatment at the Oxnard Wastewater Treatment Plant. The existing facility to which the system for the *Specific Plan Area* is planned to connect is a 21-inch main running westerly in Teal Club Road and then southerly in Victoria Avenue. This system is presented in **Exhibit 24**, Sewer Master Plan Diagram.

Planned Improvements

A Sewer Master Plan study was prepared to support the preparation of the *Specific Plan*. This system has been developed in accordance with the City of Oxnard Sewer Master Plan. These computations were conducted in accordance with the City's methodology and utilized standard assumptions for land use types. The full Sewer Master Plan study is included as an appendix to EIR-97031009, which is on file at the City Planning Program.

The system will consist of a network of gravity flow sewer mains ranging in size from 8 to 12 inches in diameter. In addition, a new sewer line will be provided to the convent complex and *Affordable Housing Planning Area* on Victoria Avenue. The alignment of these mains would follow the roadways identified in the *Specific Plan*, connecting to a planned 15-inch main in Gonzales Road and then to a planned 15-inch main in Victoria Avenue. The 15-inch main is planned to connect to the existing 21-inch line at the intersection of Victoria Avenue and Teal Club Road. A diagram of the planned system is included in **Exhibit 24**. The *Specialized Commercial Office Planning Area* would be served from the existing line in Vineyard Avenue.

Exhibit 24 – Sewer Master Plan Diagram



c. Storm Water Drainage

The City of Oxnard adopted a Master Plan of Drainage in 1979 to facilitate coordinated decision-making on flood protection within the City. The plan inventories existing facilities, adopts drainage standards, defines areas with deficiencies, plans needed improvements, and establishes a strategy for financing recommended works of improvement. As part of the preparation of this *Specific Plan*, a Preliminary Drainage Report and Drainage Master Plan has been prepared.

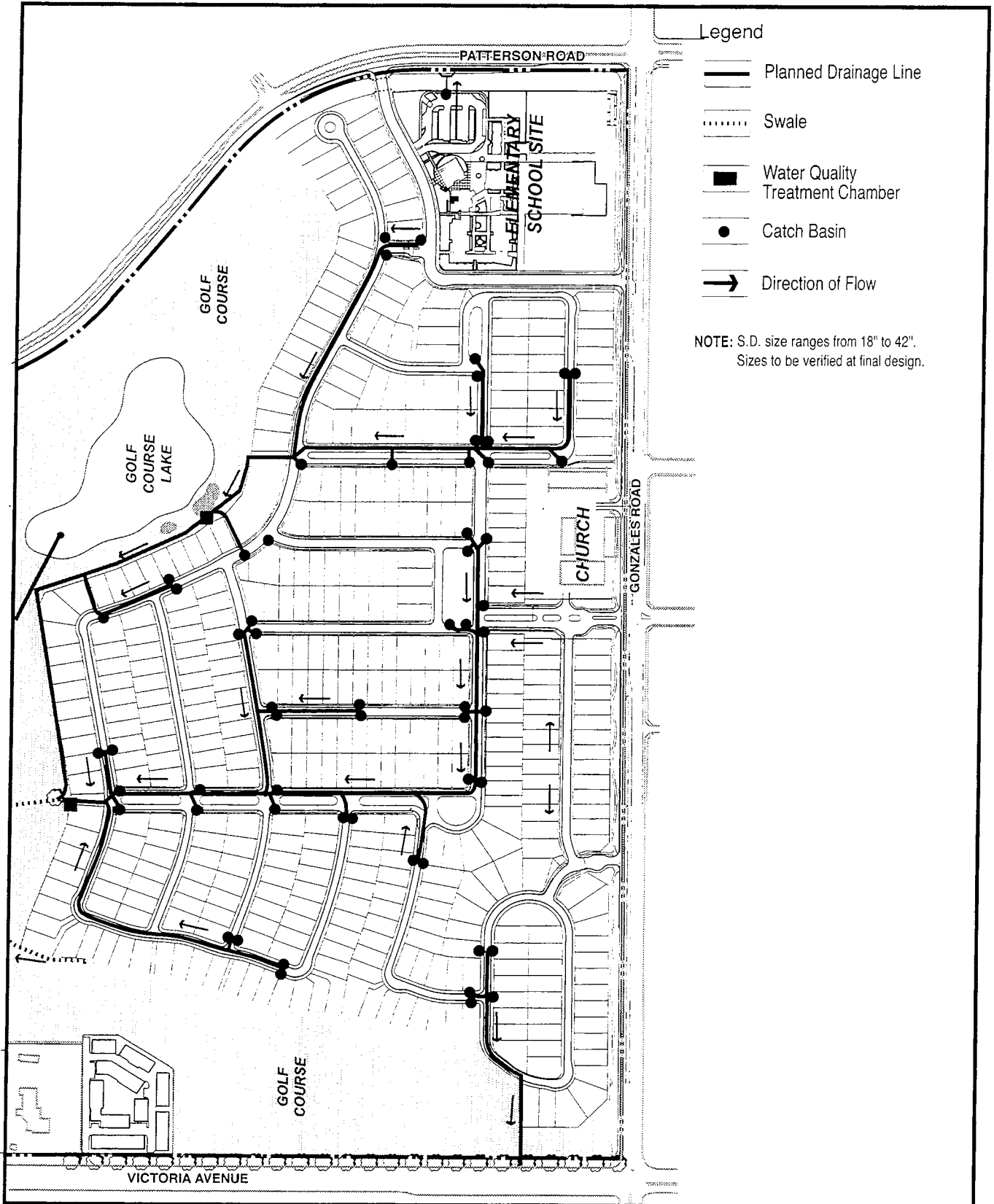
The principal existing drainage facility serving the *Specific Plan Area* is the Patterson Drain, which runs along the westerly edge of Patterson Road north of Gonzales Road, and then westerly and northerly through the *Specific Plan Area* to the Santa Clara River.

Planned Improvements

The proposed drainage system, shown in **Exhibit 25**, would convey stormwater from most of the *Specific Plan Area* via a system of swales, streets, and concrete pipes, channels and boxes into the lakes within the planned golf course. The water surface of these lakes will be held at a constant elevation by subsurface pipes controlling the static elevation of the lakes. Drainage from the golf course lakes to the Patterson Drain will be accomplished through a pumped discharge system which will augment gravity flow. The preliminary design for this system includes four to six 15 horsepower pumps discharging approximately 2,000 to 3,000 gallons per minute to the Patterson Drain. The operators of the golf course will be able to use this system to lower the water surface in the lake system in anticipation of major storm events to create additional capacity for the storage of stormwater. This will minimize the effect of storm events on the golf course and allow play to resume quickly after storm events.

Drainage between the *Residential Community* and the Patterson Drain will be by piped conduit wherever possible. The underground conduit will be designed to carry a maximum of 0.75 c.f.s. per acre of developed area directly to the northernmost basin, adjacent to the Patterson Drain. This will allow for treatment of the first flush runoff from the residential area. Flows in excess of 0.75 c.f.s. per acre will drain across the golf course to the lakes, ultimately reaching the Patterson Drain near its intersection with Victoria Avenue. Where it is necessary to discharge water from the residential areas directly into the golf course drainage system, the point where residential water will pass into the golf course will be fitted with a subterranean oil/water/grit chamber. The planned location of these water quality chambers is shown on the *Storm Drain Master Plan* diagram. These chambers will ensure that no untreated surface drainage from the *Residential Planning Area* discharges directly into either the golf course or Patterson Drain. The chambers will be accessible from the *Residential Planning Area*.

Exhibit 25 – Drainage Master Plan Diagram



These chambers will allow the sedimentation and oily materials from the residential area to be collected prior to discharge into either the golf course drainage system or the Patterson Drain. A drainage swale will be provided along the western edge of the *Residential Planning Area* to collect runoff and direct it to the water quality chamber at the northwest corner of the *Residential Planning Area*. As shown on the *Storm Drain Master Plan* diagram a portion of the southwestern edge of the *Residential Community* will drain to the existing drain along Victoria Avenue. These chambers will be maintained by the Homeowners Association established for the *Residential Community*.

As part of the effort to design a backbone stormwater drainage system, modeling was conducted to determine the total volume of runoff and detention requirements for the build-out of the proposed *Specific Plan*. This modeling was conducted in accordance with Ventura County Flood Control District (VCFCD) methodology and utilized standard assumptions for surface characteristics and soil types. That analysis is included as an appendix to EIR-97031009, which is on file at the City Planning Program.

The *Affordable Housing Planning Area* will drain directly to existing facilities along Victoria Avenue and the *Specialized Commercial Office Planning Area* will drain directly to the Patterson Drain.

d. Natural Gas and Electricity

The Southern California Gas Company (SCGC) and Southern California Edison (SCE) provide natural gas and electricity to all developed portions of the City of Oxnard, including the *Specific Plan Area*. Electricity and natural gas are the only energy resources discussed in this section, as future on-site uses of other energy sources in significant quantities are not presently foreseen.

Electrical Power

Existing power lines surrounding the *Specific Plan Area* originate from the Levy Substation. Major underground ducts housing 66 to 16 kilovolt (kV) power lines are located in Gonzales Road and Patterson Road to the east of the *Specific Plan Area*. Connections to these lines are planned at both streets entering the *Specific Plan Area* from Gonzales and Patterson Roads. The 66 kV lines on Gonzales Road will be relocated to meet the requirements of the public school and to minimize the number of poles. All other service will be placed underground. Telephone and TV cable lines will parallel the electrical services. Service within the *Residential Community* would be provided through underground ducts within the *Neighborhood Streets*.

Natural Gas

Natural gas is imported to Ventura County by SCGC from its interstate system and distributed to the area through a fixed transmission and distribution system. Several primary natural gas transmission lines exist in the vicinity of the *Specific Plan Area*. For example, there is a 30-inch, high-pressure natural gas line located in Victoria Avenue, a 6-inch line in Gonzales Road, and a 4-inch line in Vineyard Avenue/Patterson Road. New mains connected to these facilities are planned to parallel the electrical lines described above.

2.6 Perimeter Wall and Fence Theme

In addition to establishing the street tree palette, the goal of the *Specific Plan* is to establish the character of the perimeter walls and fences of the *Residential Community* and how they relate to, and are viewed from, surrounding land uses and streets. The Perimeter Wall and Fence Master Plan is provided in **Exhibit 26**, which defines six wall and fence types as described below:

(1) Entry Theme Wall

8'-0" high

Slump block wall with painted sack finish or other design approved by the Planning and Environmental Services Manager

Projecting brick or cast stone cap to match pilaster cap

Tile accents or alternative accent materials allowed

(2) Perimeter Theme Wall

8'-0" high

Slump block wall with painted sack finish or other design approved by the Planning and Environmental Services Manager

Projecting masonry cap to match finish of wall below

Pilasters to occur at 40 feet to 50 feet on center and at all changes of direction, height or wall type

(3) Neighborhood View Fence

6'-0" high

Tubular steel fence

(4) Golf Course Enclosure Fence (By Golf Course)

6'-6" high

Tubular steel fence

(5) Privacy Wall

Height of wall subject to approval of Planning & Environmental Services Manager

Landscaping to be provided inside and outside the wall

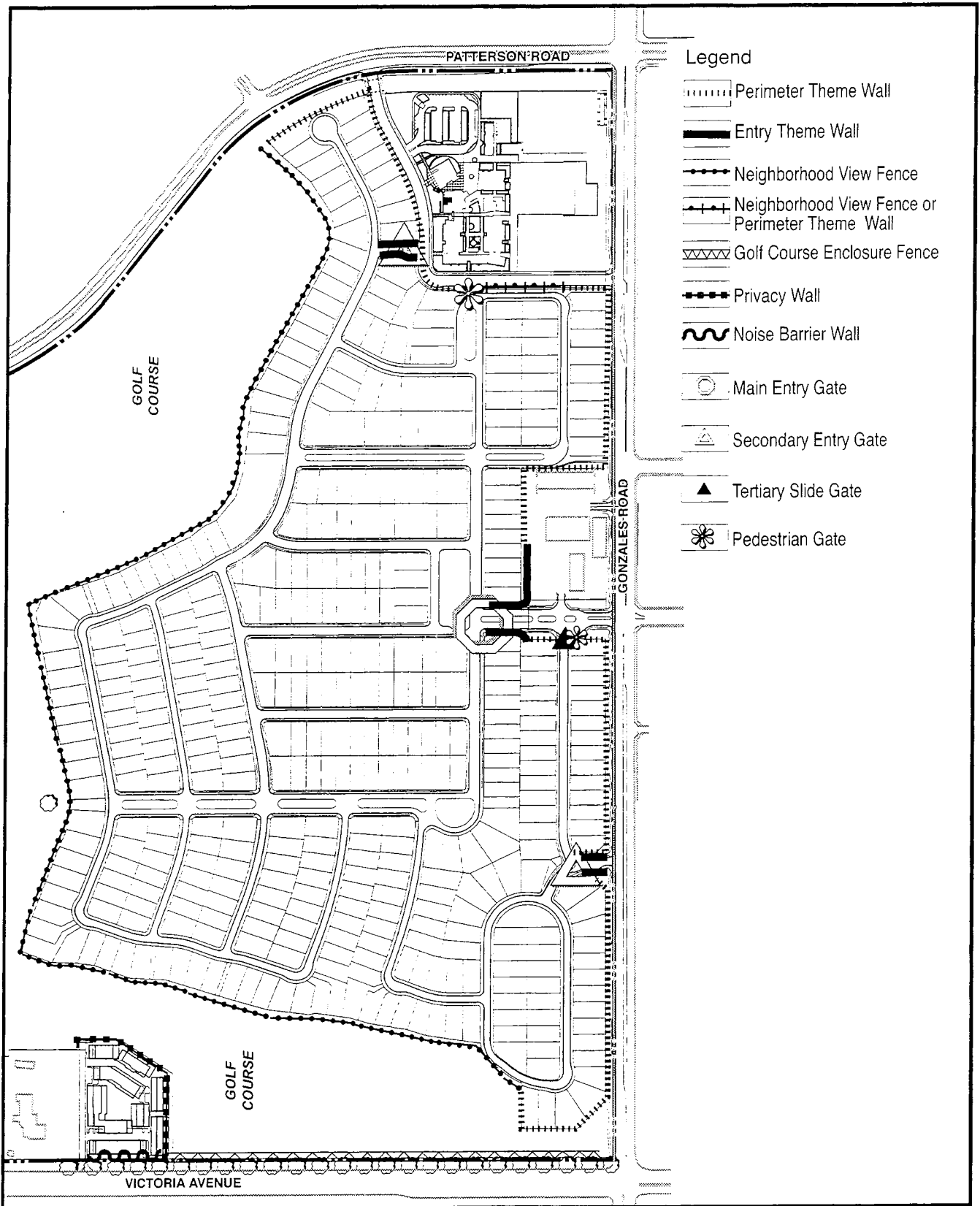
All trees located on the golf course side of the wall shall be a minimum 36" box size

(6) Noise Barrier Wall

6'-0" high minimum

Slumpstone

Exhibit 26 – Perimeter Wall and Fence Master Plan



Schematic elevation drawings of wall and fence types 1 through 3 for the Residential Planning Area are shown in **Exhibits 27** and **28**. The Golf Course Enclosure Fence will be designed by the City at the time the golf course is designed. The Privacy Wall around the Affordable Housing Planning Area and the associated landscaping will be designed and installed by the developer of the affordable housing project. The height of this Privacy Wall is subject to the approval of Planning & Environmental Services Manager. In addition to these specific wall types, appropriate protection measures, such as walls, fences, or screens shall be provided adjacent to the golf course where necessary. The Noise Barrier Wall is planned to mitigate roadway noise from Victoria Avenue. Prior to the issuance of building permits for the housing units in the *Affordable Housing Planning Area*, an acoustical analysis shall be provided to the Planning and Environmental Services Division that demonstrates that the building sites have been designed to reduce noise levels in outdoor living areas (e.g., enclosed yards, patios, etc.) to 65 dB(A) CNEL or less. The acoustical analysis shall also demonstrate that the buildings have been designed so that interior noise levels resulting from roadway noise will be no greater than 45 dB(A) CNEL with closed windows. The final height of the Noise Barrier Wall shall be determined in this study.

Exhibit 27 – Entry and Perimeter Theme Walls

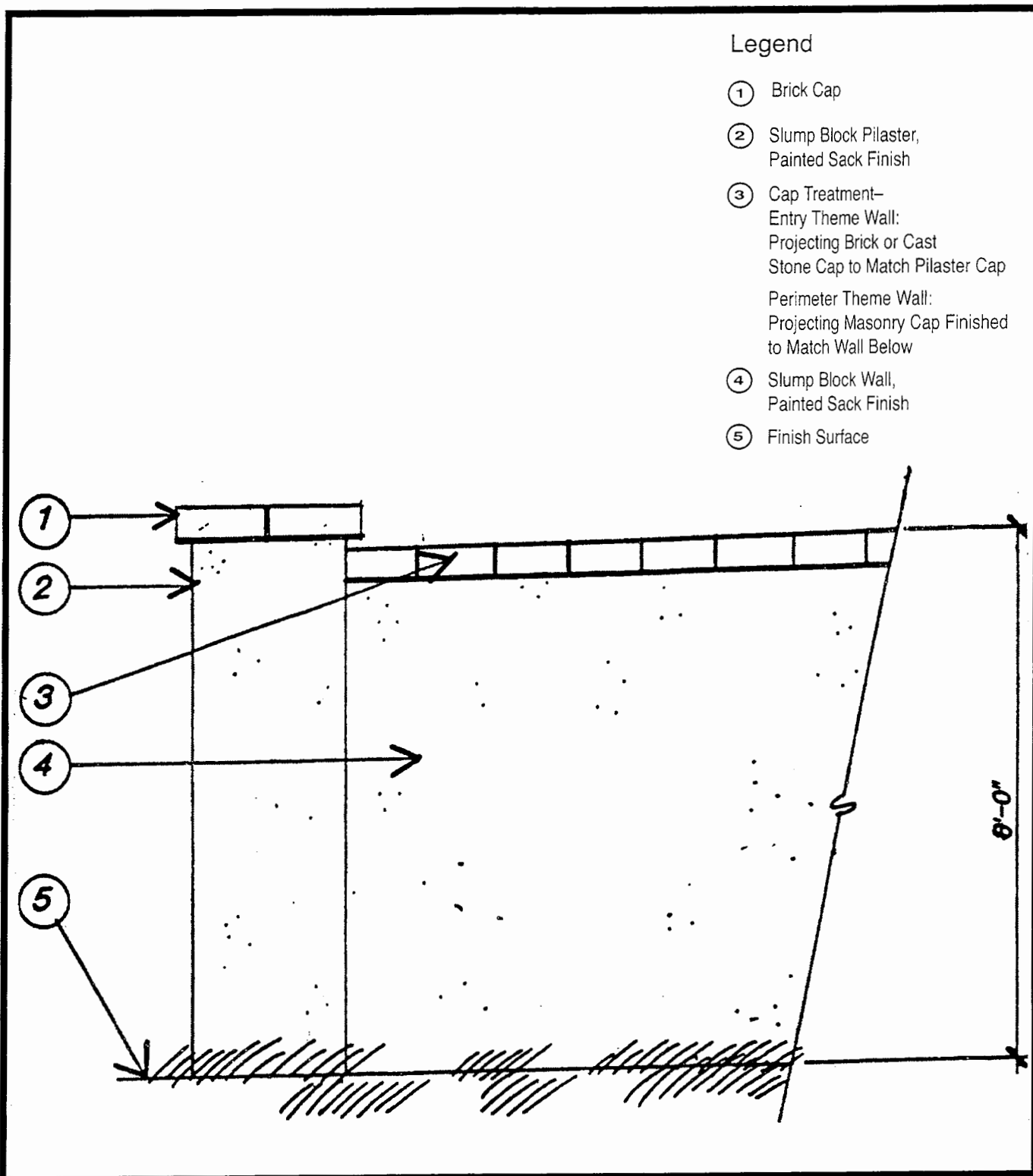
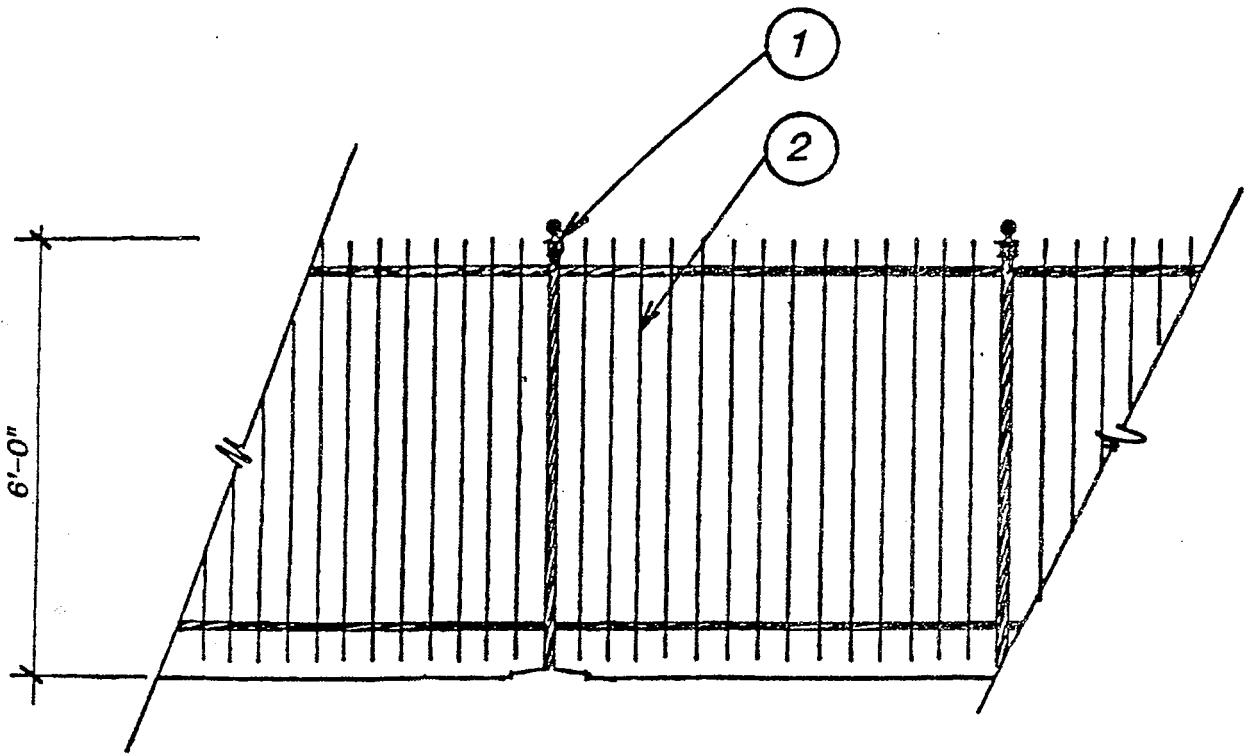


Exhibit 28 – Neighborhood View Fence

Legend

- ① Steel Fence Post w/ Decorative Finial Caps
- ② Tubular Steel Fence to be Painted Black



3.0 DEVELOPMENT STANDARDS AND DESIGN GUIDELINES

3.1 Development Standards

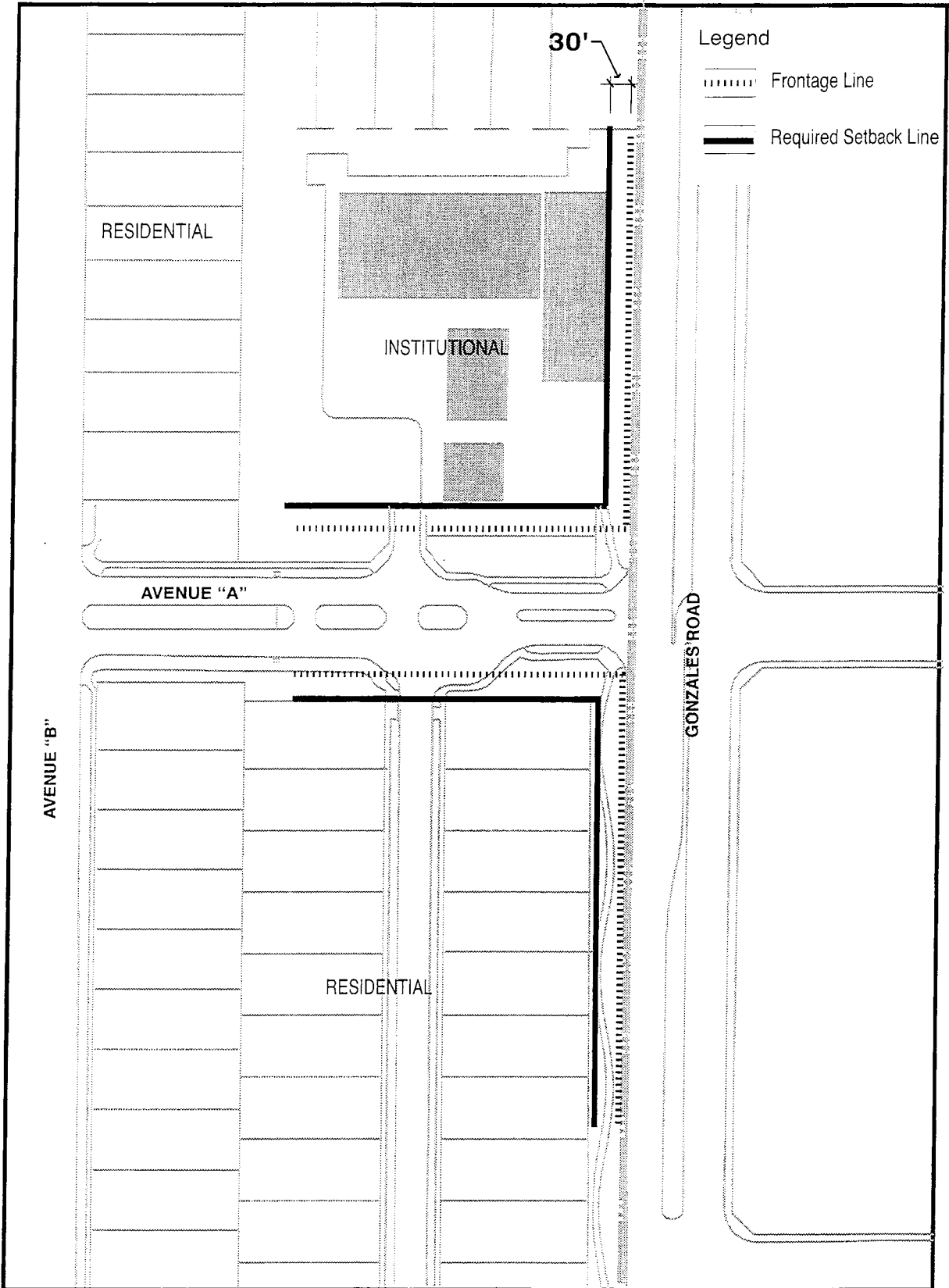
Certain terms used in the Development Standards and *Design Guidelines* have specific meanings that are defined in the Glossary, Section 4.8, at the end of this document. These terms are capitalized in the text of the Development Standards and *Design Guidelines*.

a. *Institutional Planning Areas*

Development within the *Institutional Planning Areas* is subject to the following development standards:

1. Buildings with *Façades* meeting the requirements below shall be built on the *Required Setback Lines* shown in **Exhibit 29** along Gonzales Road and Avenue A. Any portions of the *Required Setback Lines* not built with *Façades* should be built with an open colonnade (see below) or a *Courtyard Wall* (see Glossary).
2. Buildings and associated site improvements are intended to define the primary entry space of Avenue A, leading to the *Residential Community*. The buildings and related landscaping and site improvements along the *Frontages* of properties facing Gonzales Road and Avenue A shall be of a high quality and cohesive design, in accordance with the *Design Guidelines*. Buildings and site improvements designed in the authentic Spanish Colonial Revival Style are strongly recommended.
3. *Façades* fronting Gonzales Road and Avenue A should be fenestrated with windows and doors, including a principal entry to the building. The openings should be of vertical proportions, or square.
4. At the corners of Gonzales Road and Avenue A, the *Façades* should be set back 25 to 40 feet from the *Frontage Line* for a distance of 50 feet from the corner. A forecourt or formal garden should be constructed in the setback area, paved or landscaped in accordance with the *Landscape Standards*, and bounded by a wall between 30 and 42 inches in *height*, in accordance with the *Design Guidelines*. These walls should include openings (which may be gated) for pedestrian access.
5. Individual *Façades* should generally be limited to 60 feet in length along a *Frontage*. Building wings may exceed this dimension if designed with architecturally distinct *Façades* articulated in plan, elevation and massing, each approximately 60 feet or less in length.
6. The main *Façades* shall be no less than 20 feet in *height*. Buildings shall be no more than 2 Stories or 45 feet in *height*.
7. Open colonnades shall include stone or plaster columns trimmed in stone. Columns shall not be less than 18 inches in any dimension, shall have décor caps and bases and shall be spaced at no more than 20 feet on center.

Exhibit 29 –Required Set Back Lines at Avenue “A” Diagram



8. Parking areas, if located on the *Frontage* of Avenue "A" or Gonzales Road, shall be screened from the *Frontage* by a low wall meeting the requirements of a *Courtyard Wall* (see Glossary) or by continuous maintained hedge of the specified *height*. Exceptions to this requirement may be granted by the Planning and Environmental Services Manager upon a finding that an alternative design meets the intent of:
 - Defining the space of the Entry Green with *Façades*, and;
 - Defining the corners of Gonzales Road and Avenue "A" with *Façades*, and;
 - Substantially screening parking from public view, and;
 - Providing a high-quality pedestrian way flanking Avenue "A" on both sides.
9. Trash receptacles, electrical transformers, and other service elements shall be located in areas where parking is permitted and shall be screened from public view by walls matching those of the buildings.
10. Side yard building setbacks to residential lots shall be a minimum of 60 feet. Parking lots shall be setback at least 15 feet from any residential lot line.
11. Building walls should be detailed as thick walls, with windows substantially recessed. If walls are finished in stucco, it should be smooth or sand finish, with accents of fine materials such as stone, cast stone and ceramic tile.
12. Windows and doors should be of a high quality. Wood frames with divided lights are recommended.
13. The primary buildings should have visible pitched roofs, with high quality roofing material such as clay barrel tile, or concrete tile faithfully simulating that material.
14. Eaves should be detailed with overhangs with exposed rafter tails, or with a profiled cornice. Gutters should be half round or ogee, and downspouts should be round.
15. Projecting architectural elements such as colonnade and balconies are encouraged, and should include fine materials such as profiled heavy timber and wrought iron.
16. Parking shall be provided for permitted uses in accordance with the provisions of the *Zoning Code*. The parking required for *Institutional Uses* may be reduced as a condition of approval of a *Special Use Permit*. Such a reduction, if granted, shall be based on the shared parking requirements defined in the City's *Zoning Code* (Section 36-7.1.31). The location of parking spaces shall be in accordance with these Development Standards and *Design Guidelines*. Shared Parking arrangements between the institutional use sites on Gonzales Road and Oxnard High School should be considered. Such agreements would be subject to approval by all property owners, the Planning and Environmental Services Manager, and the City Engineer.
17. The following sign types are permitted for *Institutional Uses*:
 - *Courtyard Wall Signs*: Lettering applied to *Courtyard Walls* (walls parallel to the *Frontage Line* and matching the building walls (see definition of *Courtyard Wall*) to identify facilities, *institutions*, and addresses. Lettering shall be individually mounted metal letters, not to exceed 16 inches in *height*, either front lit or halo lit. *Courtyard Walls* intended to receive signage may encroach to within five (5) feet of the *Frontage* or Regulating line.
 - *Freestanding Monument Signs*: Lettering applied to freestanding walls that are not *Courtyard Walls* (i.e., not parallel to the *Frontage Line* or not matching the building walls) to identify facilities, businesses, tenants, and addresses. Lettering shall be individually mounted metal

letters, not to exceed 16 inches in *height* either front lit or halo lit. Monument signs shall meet the same setback requirements as required for *Courtyard Walls* and shall have distinct base and cap elements. Monuments shall be set back at least five (5) feet from the *Frontage* or Regulating Line. Materials for monument signs may include but are not limited to:

- Slump block with painted sack finish;
 - Plaster & stucco;
 - Brick;
 - Stone;
 - Concrete.
- Building Wall Signs: Lettering applied to a *Façade* to identify the building or an *institution* within the building.
 - Projecting Signs: Sign panels perpendicular to and projecting from a *Façade* to identify an *institutional use*. Such signs shall be made of metal or wood, with lettering raised or incised, and painted.

18. The following terms apply to signs for *Institutional Uses*:

- Sign Area: The area of a *Courtyard Wall* or Building Wall Sign shall be the area enclosed by the shortest line drawn to include all letters and logos, including all intervening space. The area of a Freestanding Monument Sign shall be the area of the monument wall, excluding any base element designed to be obscured by plantings. The area of a Projecting Sign shall be the area of the sign panel, excluding architectural supporting brackets or hangers.
- Halo Lit Lettering: Opaque, fabricated metal letter form with internal luminous tubing, mounted a few inches off face of building. Illumination falls only on building surface immediately adjacent to letter, creating halo effect.
- Front Lit Lettering: Fabricated letter form lighted by decorative light fixtures mounted on the *Façade*.
- Signage Band: Constant horizontal band or fascia area of a *Façade*, within which lettering must be placed.

19. The following standards shall apply to signs for *Institutional Uses*:

- All signs, if lit, shall be front lit or halo lit, not internally illuminated. No canister type signs are permitted.
- All signs shall be made of materials compatible with exterior building colors, materials, and finishes, and be of a high quality of fabrication.
- No signs will be permitted which do not directly relate to the name or primary service or function of the building user or *institution*.
- Signs are to be free of all labels and fabricator's advertising, except for those required by code.
- All electrical service to sign lights shall be fully concealed. No sign shall have exposed wiring, raceways, ballasts, conduit, or transformers.
- No sign shall have visible moving parts or simulate movement by means of fluttering, rotating or reflecting devices.

- No sign shall have flashing, blinking, or moving lights, or any other moving lights, or any other illuminating device that has changing light intensity, brightness, or color, except for parts designed to give public service information such as time, date, temperature, or similar information.
- Freestanding Monument Signs shall be integrated with landscaping and *Courtyard Walls* to minimize visual mass.
- Metal signs may be made of aluminum, brass, bronze, copper or stainless steel.
- The scale and proportion of graphics shall be in consonance with the architecture.

b. Private Recreation Planning Area

The buildings in this *Planning Area* are to be of high quality architectural design and materials. The authentic Spanish Colonial Revival Style is strongly recommended. Specific design characteristics recommended for this *Planning Area* are defined by the following development standards:

1. The recreation area will be located along the golf course to provide golf course "living" opportunities to all residents. The front of the recreation area will be designed as a formal entry plaza with rows of canopy trees. A focal landmark, such as a fountain, colonnade or other device is recommended as part of the recreation area entry sequence.
2. The building(s) fronting on the street should be designed with porticos, *Porte Cocheres*, or colonnades through which one enters the building(s). Forecourts or patios are also recommended fronting onto the pool area, particularly when active rooms of the building open to them. The intent is that lively uses such as outdoor dining be useable from the pool area and from within the buildings to encourage frequent use of the facility by the residents.
3. The landscape and hardscape should be of a uniformly high quality, since the recreation area will be the meeting place of all residents and a signature of the community's character.
4. Walls and fences that enclose outdoor activity areas should be of materials matching or compatible with the building walls, and should provide a unified edge design for the facility. Solid walls over 4 feet in *height* are discouraged, in order to preserve views from the Community to the golf course.
5. The main entries to the building(s) should be architecturally prominent and fronting the entry plaza and/or *Avenue*.
6. Parking lots should be as small as possible. Secondary entry drives to the facility are encouraged to have parallel parking along them to avoid the need for large parking lots to the rear of the building(s) to the extent feasible. These small parking areas shall be surrounded by low walls or hedges, planted with large canopy trees and flanked by greens or play areas.
7. The primary buildings should have visible pitched roofs, with high quality roofing material such as clay tile, or concrete tile faithfully simulating that material.
8. Windows and doors should be of a high quality. Wood frames with divided lights are recommended.
9. Projecting architectural elements such as colonnades, *Pergolas* and balconies are encouraged, and should include fine materials such as profiled heavy timber and wrought iron.

c. Residential Planning Area

The primary community design objective for the *Residential Planning Area* is to provide high quality streetscapes and community spaces for the enjoyment of all the residents. The design of the streets, roads and open spaces of the community provides the framework for this community design. The Development Standards and *Design Guidelines* focus on the design of the street frontages within the Community. The site planning and architecture of each residential lot will contribute beautiful front yard and house *Façades* to bound and enhance the streetscape.

The location, configuration and *height* of all structures on single-family residential lots in the *Specific Plan Area* shall be in accordance with the Development Standards and *Design Guidelines* in this Chapter. Minimum lot sizes are defined within the *Residential Planning Area* to ensure that each neighborhood has a unique character and that the overall community meets the City's objectives. All lots shall have minimum lot sizes which conform to the *Lot Size Diagram* shown in **Exhibit 30**.

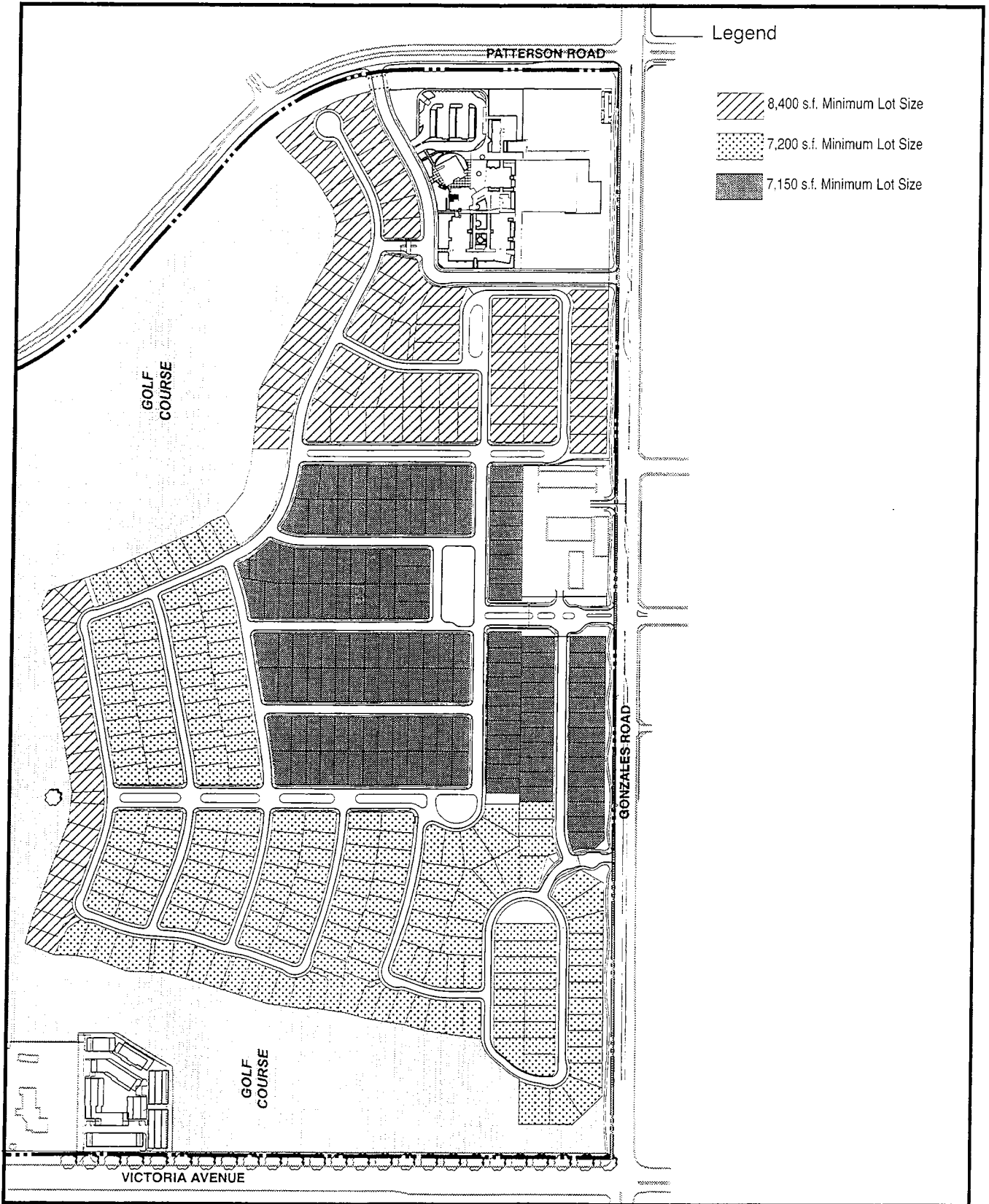
The Residential Lot Development Standards, below, define the requirements for the location and configuration of buildings and site improvements on the residential lots. The location, configuration and *height* of all structures on single-family residential lots in the *Specific Plan Area* shall be in accordance with the Development Standards and *Design Guidelines* in this Chapter.

The reader is also referred to the *Design Guidelines* and *Landscape Standards* for information regarding permitted materials, construction methods and design details.

General

1. Principal buildings and *outbuildings* may be constructed on the lots as specified in **Table 2**, below.
2. The number and size of parking spaces shall be as required by the *Zoning Code*. Required parking for residences shall be located and designed in conformance with the Development Standards and the *Design Guidelines*.
3. Lots should be planned and houses should be designed so that the *garages* of the houses do not dominate the *Façades*.
4. A minimum of two (2) fully enclosed garage spaces is required.
5. A third garage space may be provided if it is in tandem with one of the two required spaces, or if it is accessed by a one-car garage door placed perpendicular to the *Frontage*, or if all garage doors are at least 40 feet from the *Frontage Line*, or if facing a *Service Lane*.

Exhibit 30 – Lot Size Diagram



**Table 2
Neighborhood Development Standards**

Standards	Residential Neighborhood					Comments
	East	Central		West		
Lot Width	65' min.	50'-59'	60' up	<65'	65' up	
Service Lane	Opt.	Opt.	Opt.	Opt.	Opt.	Service lanes not allowed for lots adjacent to golf course.
Front Setbacks						
Façade	20'	15'	20'	20'	20'	
Front Porch/Stoop	15'	7'	10'	12'	17'	
2-Car Garage(Straight In)	25'	25'	25'	25'	25'	
3-Car Garage	40'	40'	40'	40'	40'	Applies when 3-car doors face street.
Turn-in Garage	18'	18'	18'	18'	18'	
Side Setbacks						
House Wall	6'	5'	5'	5'	6'	5' more at corner lot frontages.
Outbuilding Wall	3'	3'	3'	3'	3'	
Fireplace/Bay Window	3'	3'	3'	3'	3'	Maximum 11' width
Overhang	3'	2'	3'	3'	3'	
Rear Setback line with minimum open space area of 1,400 sq. ft. and an average setback of 25'.						
House Wall	25'	25'	25'	25'	25'	Applies to lots with no rear lane.
Single Story Elements	20'	20'	20'	20'	20'	
Porch/Pergola	20'	20'	20'	20'	20'	Applies to lots with no rear lane.
Gazebo (free standing patio cover)	10'	10'	10'	10'	10'	Not regulated at lots with lanes.
Outbuilding/ Garage	5'	0' or 5'	0' or 5'	0' or 5'	0' or 5'	0' applies only at lots with rear lanes.
Building Height						
Principal Building	35'	35'	35'	35'	35'	
Outbuilding	25'	25'	25'	25'	25'	
Architectural Projections	40'	40'	40'	40'	40'	

6. The driveway area behind the sidewalk shall be adequate for two (2) guest parking spaces. If the driveway is 12 feet or less in width for a distance of 10 feet behind the *Frontage Line*, the number of on-site guest parking spaces may be reduced to one (1).
7. The only signs permitted at residential uses are street address numerals up to 8 inches in height, made of ceramic tile or metal, attached to a wall.
8. The developer of each phase may display one (1) temporary free-standing sign including information pertinent to a site and its stage of development. Temporary signs may be post-and-panel signs or free-standing monument signs. Such signs shall be submitted to and approved by the City prior to installation. No temporary promotional signs will be allowed within public street rights-of way.

- a. **Size:** Temporary signs shall be no more than five (5) feet in *height* nor four (4) feet in width.
- b. **Material:** Shall be designed to last the length of its intended use without significant fading, warping, peeling, blistering, cracking, rotting, or delamination. The City reserves the right without liability to cause removal of any sign deemed to be in deterioration or damaged.
- c. **Duration:** Temporary signs associated with the sale and/or the development and construction of buildings shall remain in place no more than twelve (12) months. Removal shall occur after 95 percent completion of construction. This period may be extended upon written approval by the City of Oxnard Planning and Environmental Services Manager.
- d. No temporary sign shall pose a hazard to the safe movement of traffic and shall not block the visibility of permanent signs on adjacent lots.

Residential Planning Areas

East Neighborhood - Custom Home Sites

All houses in the *East Neighborhood* shall incorporate into their design all of the criteria stipulated in the Northwest Golf Course Community *Design Guidelines*. The design of dwellings in this area shall be consistent with elements of the chosen architectural style.

A minimum of 15 percent of the lots in the *East Neighborhood* (specifically those located east of the Avenue F gate or those which back up against the golf course) shall be *Custom Home Sites*. Each home constructed on a *Custom Home Site* shall incorporate a unique and individual building footprint and no two units may be identical in elevation or color scheme.

The remaining 85 percent of the lots in the *East Neighborhood* shall incorporate a minimum of four building footprints with five distinct architectural styles and elevations with no footprint or elevation located adjacent to or across the street from the same plan or style to ensure a unique design character for this neighborhood.

Any custom home sites unsold at the time the last building permit for any other lot in the remainder of the *East Neighborhood* is signed off may be built out consistent with the 85 percent as described previously.

Minimum Square Footage:

- One (1) *Story* dwelling - beginning at 3,000 sq. ft.
- Two (2) *Story* dwelling - beginning at 3,500 sq. ft.

West and Central Neighborhoods

The purpose of the following *Design Guidelines* is to promote the building of high quality homes. This philosophy is intended to capture a historic context or period of architecture found in older, established neighborhoods such as South Pasadena, Monterey, and San Marino, California within recognized limitations of production building.

d. Affordable Housing Planning Area

This *Planning Area* has been created to facilitate the development of affordable housing within the *Specific Plan Area*.

1. Development within the *Affordable Housing Planning Area* shall be in substantial conformance with the site diagram in **Exhibit 31**.
2. Access, sidewalk, parking and landscape areas within this *Planning Area* shall substantially conform in size and location with the site diagram in **Exhibit 31**.
3. The allowed development type is two-story townhouse style units with attached garages.
4. A minimum of 20 on-site surface guest parking spaces shall be provided.

e. Specialized Commercial Office Planning Area

This *Planning Area* has been created to allow for the reconstruction of the McLoughlin Home.

1. Reconstruction of the McLoughlin Home within the *Specialized Commercial Office Planning Area* shall be in substantial conformance with the site diagram in **Exhibit 32**.
2. Access, sidewalk, parking and landscape areas within this *Planning Area* shall substantially conform in size and location with the site diagram in **Exhibit 32**.
3. Twenty parking spaces shall be provided for the McLoughlin Home.
4. Signage for the McLoughlin Home shall be limited to a single monument sign located at the driveway into the site.

Exhibit 31 – Affordable Housing Site Diagram

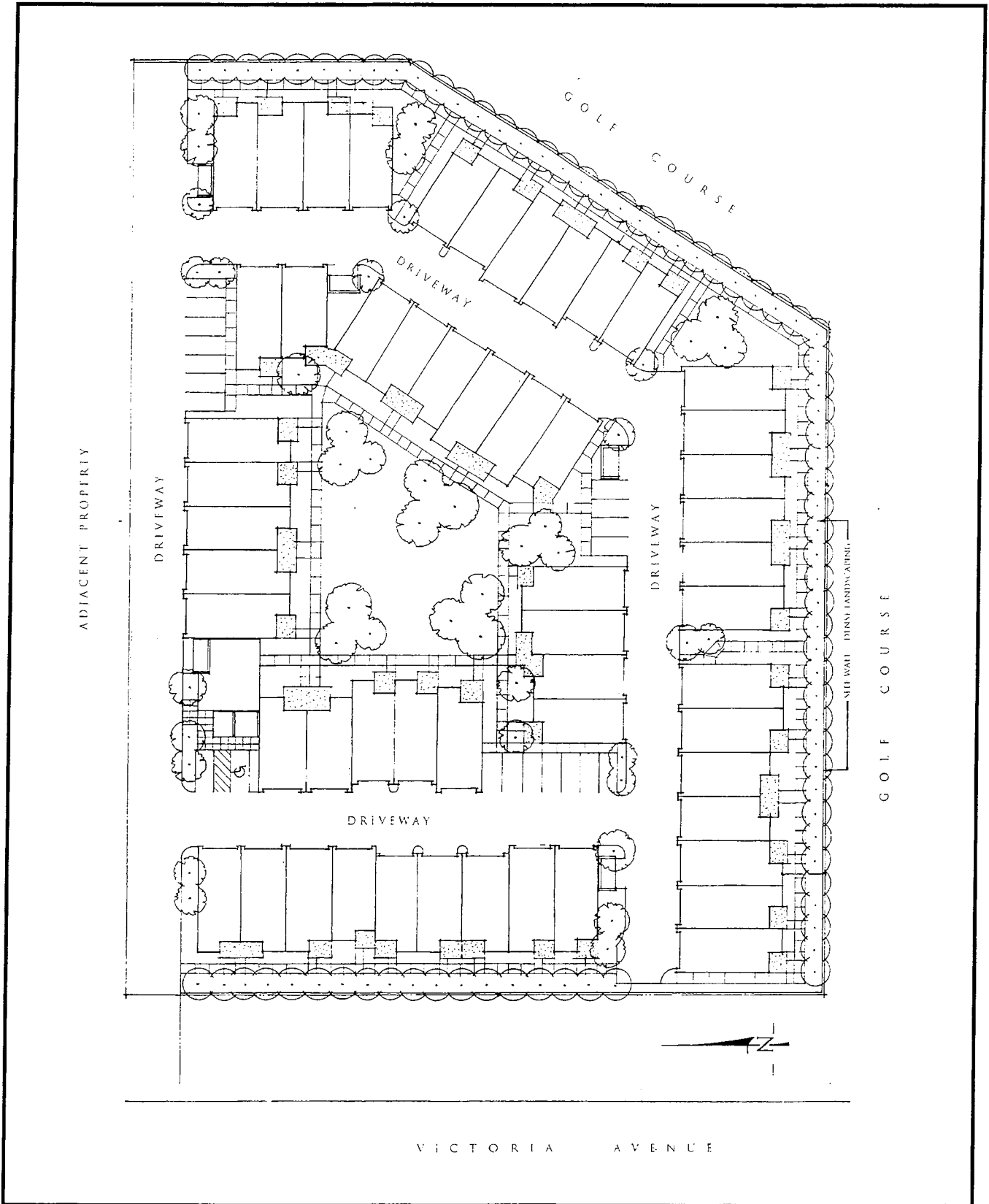
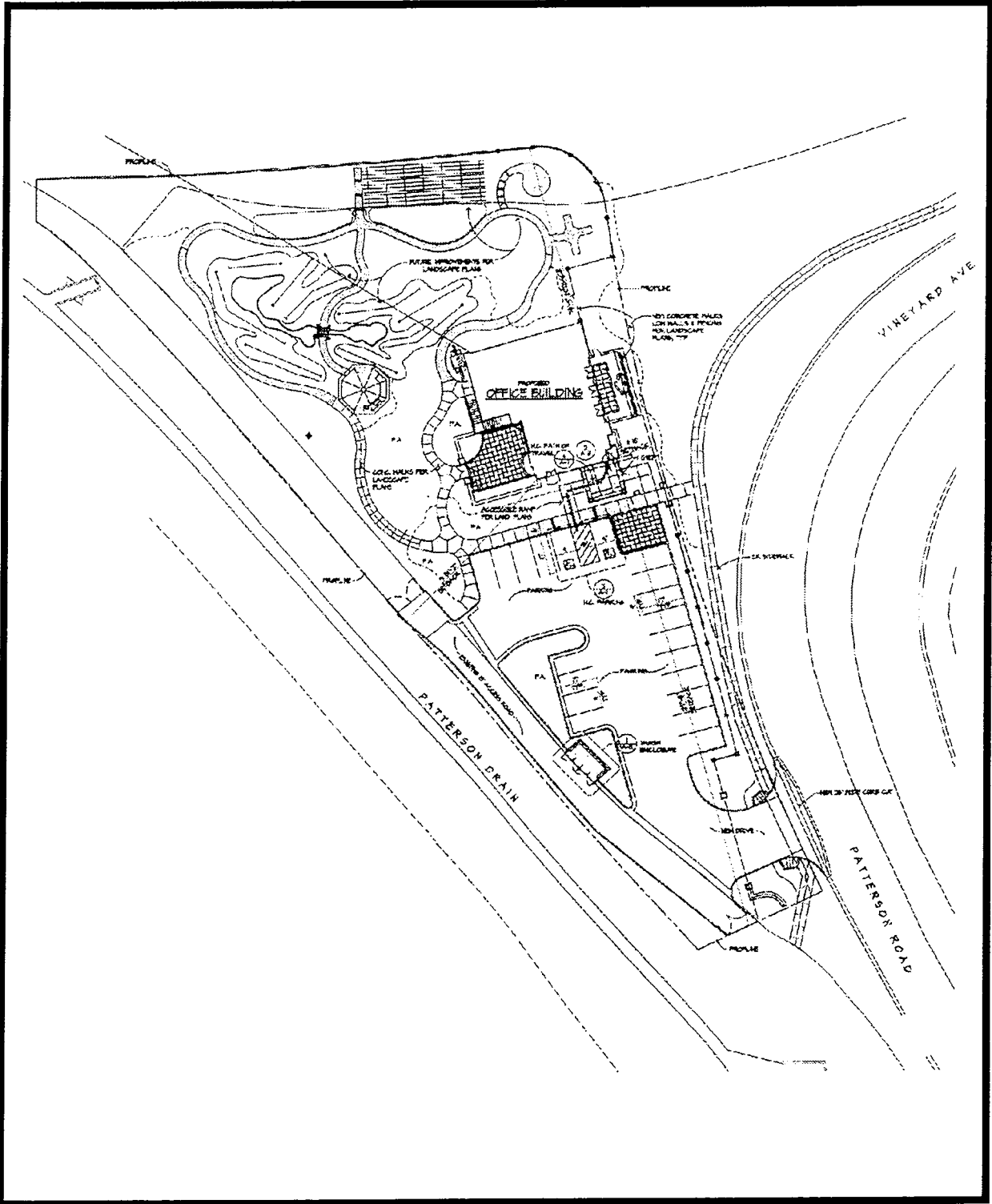


Exhibit 32 – McLoughlin Home Site Diagram



3.2 Design Guidelines for Residential Planning Areas

Seven historical Architectural Styles form the basis for these *Design Guidelines* for the *Residential Planning Areas*. It is intended that houses within the *Residential Community* adhere to a coherent set of design features of one of these Styles within the recognized limitations of production building. The Styles have been selected to allow a wide range of variation in materials and a great deal of invention in architectural design.

In the *Central* and *West Neighborhoods*, the Architectural Style of the houses may vary from lot to lot, or may be consistently the same within a street. In the case of consistency of Style within a street, there must still be variation in the *façade* design from house to house to avoid a “tract” appearance.

In the *East Neighborhood*, Architectural Style should vary within each street. This style variation, together with the required variation in floor plan, will achieve the intended “custom quality” character of the *East Neighborhood*.

a. General Design Guidelines - Applicable to all Architectural Styles and Neighborhoods

These General Guidelines define the range of materials, elements and details that are required for houses, *outbuildings*, and site improvements on all residential lots within the community. Specific requirements and recommendations for specific architectural styles are listed following sections for each of the seven (7) allowed architectural styles.

Not all of the materials, elements and details listed in this General Guidelines sections are consistent with all allowed Architectural Styles. Upon selection of a style, the available range of such choices is narrowed to ensure the faithful execution of the essential qualities of the selected style. In a few cases, the specific requirements for a style may contradict a General Guideline. In case of such a conflict, the requirement for the specific Style shall govern.

1. Roofs and Massing

- Two-story masses to be accompanied by lower roof elements, unless specifically stated to the contrary for a particular style.
- Building roofs shall be gabled or hipped and sloped between 3:12 and 12:12, not to exceed a height of 35 feet.

- Porch roofs shall have a minimum pitch of 3:12, unless specifically stated to the contrary for a particular style.
- Overhanging eaves shall be finished with exposed rafter tails, fascia boards, or a cornice, in accordance with the requirements for the selected architectural style. Other finishes and treatments shall be subject to review and approval of the Planning and Environmental Services Manager.
- Skylights shall be flat (non-bubble) only.
- Rakes at gable ends shall be terminated with 2x fascia or tile wrapped over such a fascia.
- Gutters shall be painted galvanized steel, copper, or painted aluminum.
- Roofing materials shall be clay barrel tile, wood shakes, wood siding or shingles, slate, or concrete or approved, high-quality composite materials faithfully simulating these natural materials. The roofing material for each house shall be consistent with the selected architectural style, as specified in the following style sections of these Guidelines.

2. Walls and Fences

- Building walls shall be made of or finished in stucco, painted wood siding or shingles, brick, stone, or approved composite materials faithfully simulating these natural materials.
- Street-side yard walls shall be made of slump block or clad with stucco, brick, stone, or approved high-quality composite materials faithfully simulating these natural materials.
- Walls may be trimmed with painted wood, brick, stone or approved cast stone. Trim shall be consistent with the architectural style of the dwelling.
- *Frontage* fences may be made of painted or stained wood. *Frontage* fences should be between 30 inches and 42 inches in *height*.
- Painted wood picket fences, and stained or painted rail fences, are allowed at the *Frontages* of lots on *Neighborhood Roads* and *Lanes* in the *West, Central* and *East Neighborhoods*.
- On *Neighborhood Street Frontages* in the *Central Neighborhood*, houses with primarily stucco walls are encouraged to have *Frontage* walls finished in matching stucco - and between 24 inches and 42 inches in *height* - built on the *Frontage Line* to enclose the front yard or forecourt of the house. Primarily wood houses on these frontages are encouraged to have painted wood picket fences 30 inches to 42 inches in *height*. Houses not provided with a *Frontage* fence or wall are encouraged to have a continuous maintained hedge between 30 inches and 42 inches in *height* planted at the *Frontage Line*.
- *Frontage* fencing at the side yards of corner lots should match the fence design of the front yard frontage and be located within two (2) feet of the property line.
- Rear yard walls and interior sideyard walls shall be made of slump block masonry, plastered concrete block masonry, or *fine masonry* of any type. Such walls shall be no more than 6 feet in *height*, except at Community edges, where they may be up to 8 feet in *height*.

- Gates in wood fences shall be made of wood matching the fence. Gates in masonry and stucco walls may be made of wood, wrought iron, or tubular steel faithfully simulating wrought iron.

3. Doors and Windows

- Doors and windows shall be made of wood, vinyl, or vinyl-clad wood or other high quality material consistent with the architectural style of the residence and approved by the Planning and Environmental Services Manager.
- Window openings shall be vertical in proportion or may be square.
- Window glass shall be clear glass with not more than 10 percent daylight reduction (tinting), and shall not be reflective (mirrored).
- Windows may have the following accessories: shutters sized to match the openings, opaque canvas awnings (Spanish Colonial Revival style only), and planter boxes supported by visible brackets.
- Feature windows (arch, segment, circular, oval) may be provided - no more than one per *Façade* is recommended.
- Windows on *Façades* shall have divided lites that are consistent with the selected Architectural Style.
- Front *Façade* windows shall be recessed not less than 2 inches from the building *Façade*. This minimum recess may not be achieved by the use of projected trim.

4. Architectural Elements

- Posts should be made of wood.
- Balconies, porches and bay windows should be made of wood, simulated wood, or other material appropriate to the architectural style of the residence.
- Wood posts shall be no less than 5-1/2 " x 5-1/2 " and shall be articulated at their base and top.
- Balconies, cantilevers and projected windows shall be supported by visible brackets made of heavy wood, stucco, or metal, as appropriate to the selected Architectural Style.
- Columns, piers, and arches shall be made of, or clad, in stucco, brick, stone or simulated stone.
- Masonry and stucco arches (square or round) shall be no less than 8 " in depth.
- Stoops at exterior doors may be made of brick, stone, concrete, or wood. Railings shall be made of wood, wrought iron, or tubular steel, faithfully simulating wrought iron.
- Ornamental metalwork at gates, window grilles, balcony rails and fencing should be made of traditional wrought iron, or steel bar stock detailed to faithfully simulate wrought iron.

5. Mechanical and Electrical Equipment

- All mechanical and electrical equipment - including but not limited to air-conditioning units, solar panels and antennas - whether roof-mounted, ground-mounted or otherwise, shall be completely screened from view.

6. Colors

a. Roof and Materials

- Natural materials or composite materials faithfully replicating the color and texture of the natural material.

b. Walls

- Deep value "earth" and natural toned colors including; warm white and off-whites. The color palette shall be approved by the Planning and Environmental Services Manager.

c. Accents

- Traditional and historically correct colors to complement the selected architectural style.

7. Material Changes

- a. When two or more wall materials are combined on one *Façade*, it is recommended that they be combined only with one above the other. Lighter weight materials should be above more substantial materials (e.g., wood above stucco or masonry, or stucco above masonry).
- b. If two or more wall materials are combined with one beside the other, the change in material should occur at an inside corner of a change in the plane (offset in plan) of the *Façade*. Such a change in plane and material must be integral to the architectural massing and design of the building, not just a step placed arbitrarily to accommodate the change in wall material.

3.3 Allowed Architectural Styles for Residential Planning Areas

- American Colonial
- Cape Cod
- Victorian
- Spanish Colonial Revival
- Monterey
- Craftsman
- French Country

a. *American Colonial - Identifying Characteristics*

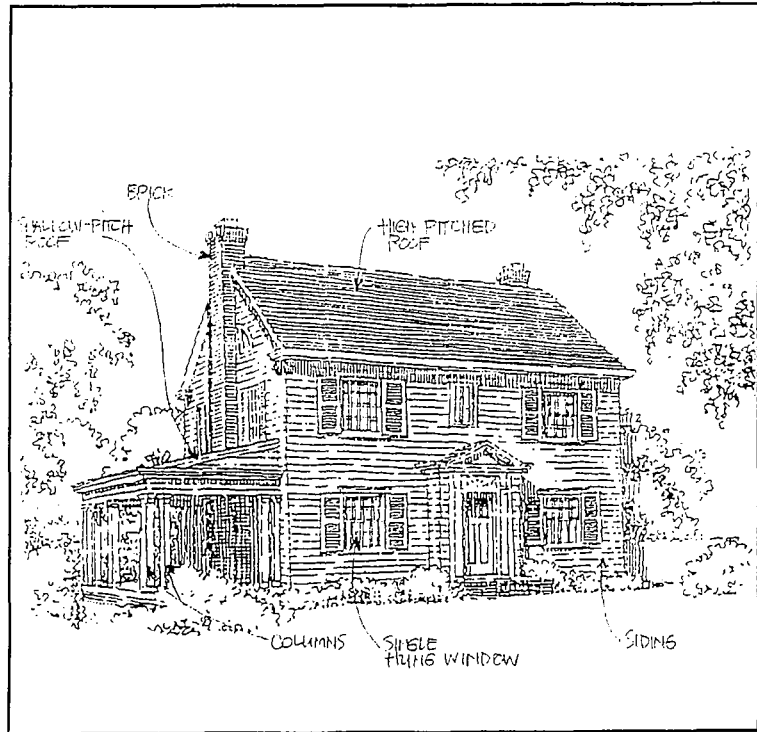
Simple, two-story massing of distinct single or multiple box elements with gable roofs. One-story wings and porches may have shed roofs attached to the primary building.

1. Roofs

- Gable roofs with pitches between 5:12 and 10:12.
- Simple front-to-back or side-to-side forms.
- Slate, flat concrete tile, or high quality composition shingles.
- Substantial profiled wood cornices at eaves, and profiled trim at gable ends (no stucco soffits).

2. Windows

- Rectangular (vertical), single- or double-hung. Relatively small windows are recommended.
- Divided lites.
- Trimmed in painted wood.
- Shutters sized to match openings (operable or at least look like they operate).



3. Wall Materials

- Wood or synthetic wood-like material drop-siding or clapboard, trimmed with painted wood at all edges and corners.
- Brick.
- Stucco.

4. Architectural Elements

- *Front Porches* or stoops.
- Pedimented wood surrounds at front entries.
- Wood fences if attached to house, picket fence at *Frontage*.

5. Colors

- Walls of dark or medium earth hues, or white.
- Trim and shutters of dark earth hues or white.

b. Cape Cod - Identifying Characteristics

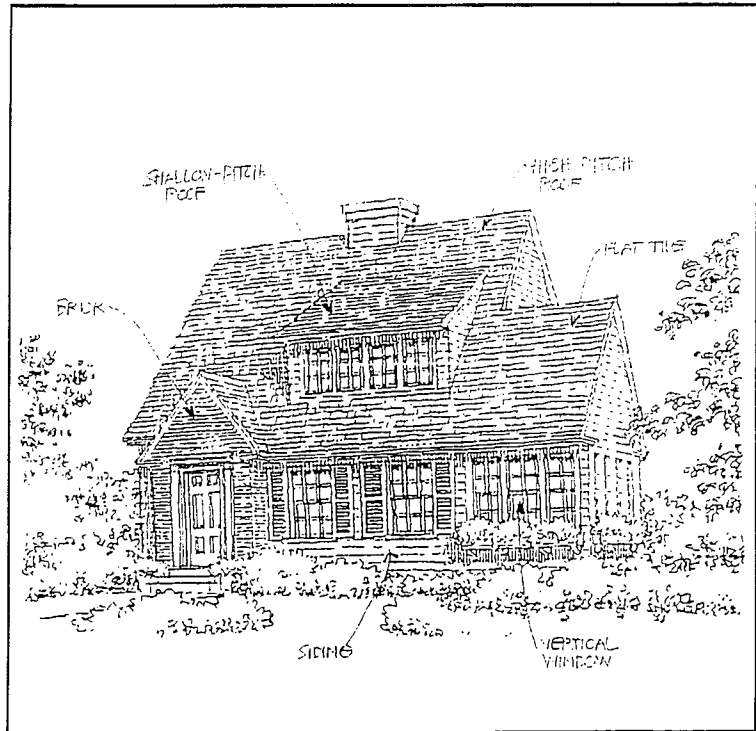
Simple, two-story massing of single or multiple "saltbox" elements, which may be interpenetrating, with gable roofs. One-story wings and porches may have shed roofs attached to the primary building.

1. Roofs

- Gable roofs with pitches between 5:12 and 12:12.
- Simple front-to-back or side-to-side forms.
- Slate, flat concrete tile, or high quality composition shingles.
- Small wood cornices at eaves, and thin profiled trim at gable ends (no stucco soffits).

2. Windows

- Rectangular (vertical), single- or double-hung, larger than American Colonial.
- Divided lites.
- Trimmed in painted wood.
- Shutters sized to match openings (operable or at least look like they operate).



3. Wall Materials

- Wood or synthetic wood-like material drop-siding, clapboard, or wood shingles with painted wood trim at all edges and corners.
- Stucco

4. Architectural Elements

- Front stoops.
- Dormer windows.
- Wood fences if attached to house; picket fence at *Frontage*.

5. Colors

- Walls of "weathered gray" hues.
- Trim and shutters of dark green, slate blue, or white.

c. Victorian - Identifying Characteristics

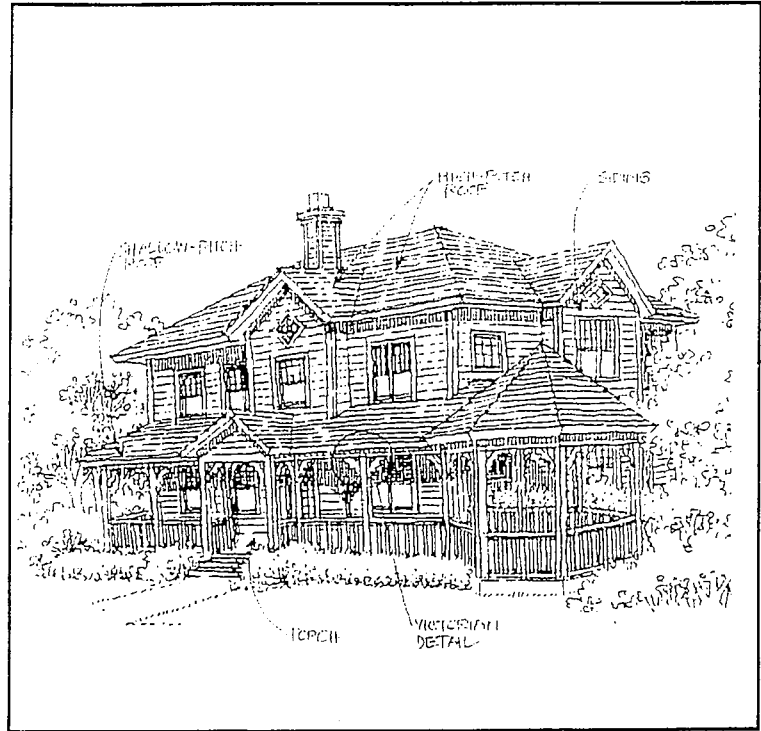
Complex, two-story massing with interpenetrating rectangular, octagonal and cylindrical elements. Extensive use of porches.

1. Roofs

- Hipped roofs with pitches between 5:12 and 10:12, with gabled elements to accentuate the verticality of projecting elements.
- Slate, flat concrete tile, or high quality composition shingles.
- Overhanging roofs, trimmed in wood at eaves and gables (no stucco soffits).

2. Windows

- Rectangular (vertical), single- or double-hung, single and in pairs.
- Divided lites, often in upper sash only.
- Trimmed in painted wood.



3. Wall Materials

- Wood or synthetic wood-like material drop-siding, clapboard, or wood shingles trimmed with painted wood at all edges and corners. Contrasting material often used within gables.
- Stucco

4. Architectural Elements

- Rambling *Front Porches*.
- Brick or stone chimneys.
- Towers and cupolas.
- Wood fences if attached to house, picket fence at *Frontage*.

5. Colors

- Walls of natural wood or painted wood. All hues, medium chroma and value.
- Contrasting painted wood trim.

d. Spanish Colonial Revival - Identifying Characteristics

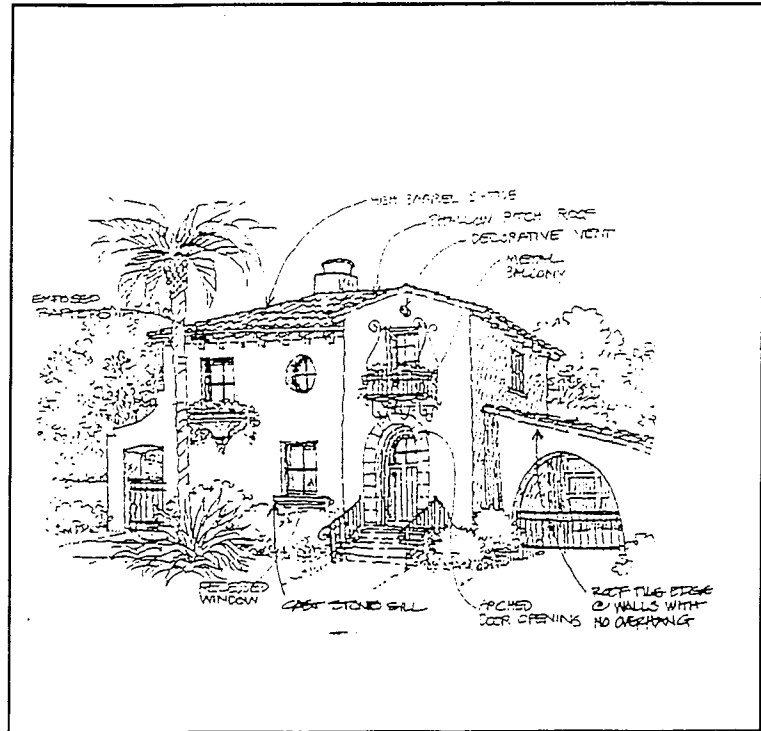
Low-pitched, red-tiled roofs, usually with little or no eave overhang. Typically with one or more prominent arches placed above doors, principal windows or beneath porched roofs. Wall surfaces are always stucco and the forms are usually asymmetrical.

1. Roofs

- Gabled and hipped roofs, from 3:12 to 4:12 in pitch.
- Simple hip, gable and shed forms.
- Exposed rafter tails or profiled cornice at eaves.
- No overhang at gables, with tile wrapped over face of wall, with or without profiled plaster cornice (no stucco soffits).
- Two-piece "S" clay tile, or concrete "S" tile.

2. Windows

- Recessed feature windows at *Façades*.
- Flat, arched, segmental or half round window heads.
- No trim typically at heads or jambs of typical openings.
- Stone or simulated stone, precast concrete, or stucco over foam trim at accent openings, or at sills of typical openings.



3. Wall Materials

- Smooth finish stucco (no rougher than sand or light lace finish).
- Cut or simulated stone accents.
- Clay or polyurethane/foam materials made to faithfully simulate clay pipe scuppers and vents.
- Shutters at windows accent windows.

4. Architectural Elements

- Heavy exposed beams.
- Iron, or steel bar block simulating wrought iron, or wood balconies and rails.
- Masonry, stucco, or wood column and balustrades.
- Arcades and trellises.
- Decorative tile insets.
- Low stucco wall at *Frontage*, enclosing forecourt.

5. Colors

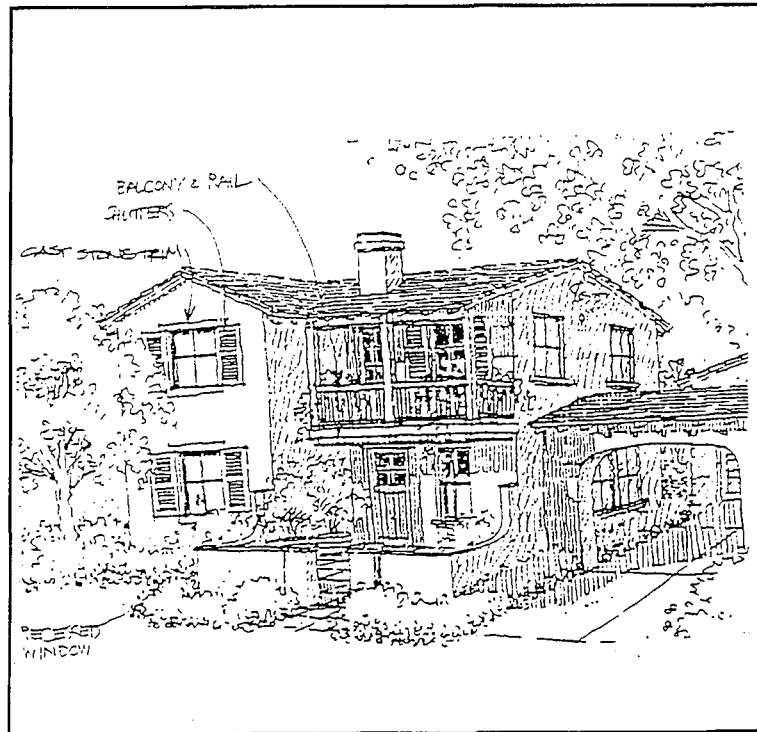
- White and off-white walls.
- Dark brown wood.
- Deep-toned, vibrant paint and tile accents.

e. Monterey - Identifying Characteristics

Low-pitched, flat concrete tile roofs in tones of browns and brownish terra-cotta, with 24" eave and 12" rake overhang. Typically with a prominent second floor, covered wood balcony, or covered *Front Porch* at the *Façade*. Wall surfaces are always stucco and the forms are usually asymmetrical.

1. Roofs

- Gabled roofs, from 3:12 to 4:12 in pitch, often with the pitch breaking to 2:12 over covered balconies and porches.
- Simple gable and shed forms.
- Exposed rafter tails, wood 2x fascia and barge boards (no stucco soffits).
- 24" eaves and 12" rake overhang (no stucco soffits).
- Flat concrete, slate-tiled roofs, or barrel tile roofs.



2. Windows

- Recessed feature windows at *Façades*.
- Vertically proportioned simple rectangular windows.
- Wood or stucco over foam lintels at heads of windows and typical openings.
- Stone or simulated, precast concrete, or stucco over foam trim at accent openings, or at sills of typical openings.

3. Wall Materials

- Smooth finish stucco (no rougher than sand or light laced finish).
- Cut or simulated stone accents.
- Shutters at accent windows.

4. Architectural Elements

- Heavy exposed beams.
- Wood balconies supported by heavy wood posts and roofed with low-pitched shed roofs.
- Masonry, stucco, or wood column and balustrades.
- Decorative stucco recesses.
- Low stucco wall at *Frontage*, enclosing forecourt.

5. Colors

- White, off-white, beige, and warm-toned brown walls and off-white walls.
- Dark brown wood.
- Vibrant paint and tile accents, especially Monterey Blue.

f. Craftsman - Identifying Characteristics

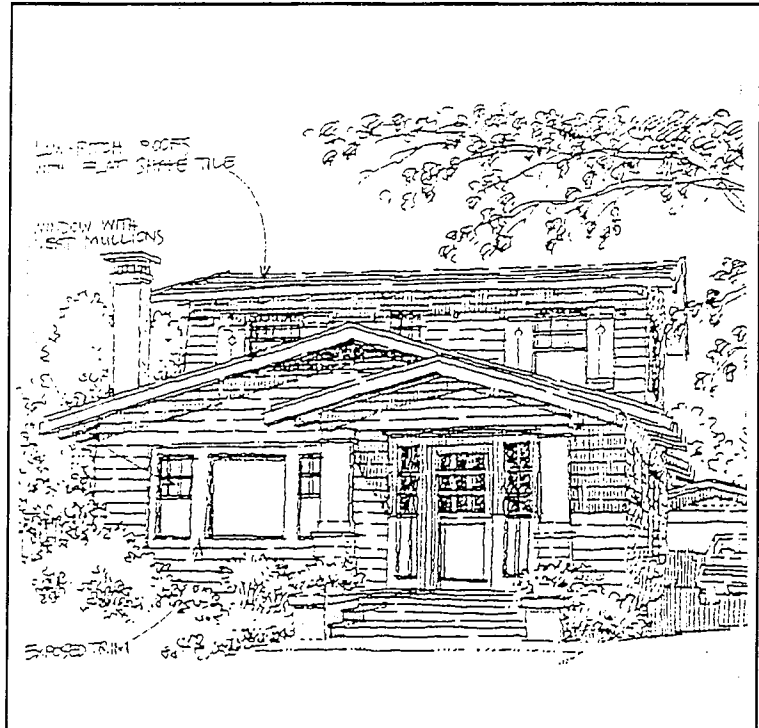
Low-pitched, gabled roof (occasionally hipped) with wide, unenclosed eave overhangs. Roof rafters are usually exposed and decorative (false) beams or braces commonly added under gables porches (either full- or partial-width) with roof supported by tapered square columns or pedestals frequently extending to ground level (without a break at level of porch floor).

1. Roofs

- Low pitched gable roofs, with deep (24" to 30") overhangs.
- Exposed, profiled rafter tails or fascia boards at eaves, and simple wide gable bargeboards with trim at rakes (no stucco soffits).
- Flat concrete or slate tile roofs.

2. Windows

- Vertical and square windows combined into horizontal groupings.
- Divided lites in upper sashes of single- or double-hung windows.
- Surrounded by wide and carefully detailed wood or other appropriate trim.



3. Wall Materials

- Wide, horizontal wood siding or smooth stucco.
- Frequent use of natural or simulated cobblestone and river rock.
- Occasional use of brick at base of wall or porch.

4. Architectural Elements

- Tapered wood posts set on rectangular or tapered masonry piers.
- Exposed wood beams and brackets, profiled at the ends.
- Extensive use of gabled porches.
- Bandsawed and pierced ornamentation in the wood railings.

5. Colors

- Mostly brown in wood treatment.
- Rich earth-toned accents.
- Occasionally lighter whites, grays, flat blues, earthy greens, and yellows.

g. French Country - Identifying Characteristics

The use of natural materials and local or manufactured stone. Use of stucco and high-pitched roofs with flat tiles, tall and narrow window openings with extensive use of shutters. The windows are occasionally rounded at the top, and shutters echo the shape of the windows. Colors are normally light with vibrant accents.

1. Roofs

- Steep pitched roofs (6:12 to 12:12).
- More shallow slopes on main house.
- Gable forms, often linking one- and two-story masses with a single roof plane.
- Simple cornices (concave outward often) or wood fascia at eaves (no stucco soffits).
- Small wood barge board with little or no overhang at gables.
- "Slate", flat, or concrete tile, or high quality composition.



2. Windows

- Deep set (2" minimum) windows on front elevation.
- Wood plank shutters (2x material).
- Trim detailed to simulate heavy timber post and lintel construction.
- Single round, oval, hexagonal shaped windows accenting some *Façades*.

3. Wall Materials

- Smooth or sand finish stucco.
- Smooth cut or cast stone and wood trim.

4. Architectural Elements

- Circular and segmental arches at main entries.
- Wrought iron, steel bar stock simulating wrought iron, or wood balconies.

5. Color

- Light earth tones on walls
- Soft natural colors on trim accents.

3.4 Landscape Standards

Intent

Landscaping shall preserve and promote the aesthetic and spatial character of the Northwest Golf Course Community in the following ways:

- Landscape shall define, unify and enhance the public space;
- Landscape shall embellish and enhance private yards; and
- Landscape shall screen and/or buffer views of parking, loading and service yards.

This section describes the minimum landscape requirements that shall be met in the design of all improvements on public and private land within the *Specific Plan Area*.

a. Landscape Greens

Landscape Greens shall reflect the character and scale of the neighborhood type. *Landscape Greens* may be planted with lawns and trees located chiefly at the perimeter allowing visibility into the green from the adjacent streets. *Landscape Greens* may be enclosed by low hedges to provide safety for children. Hedges may be used to reinforce the formal quality of the *Landscape Greens*. The *Landscape Greens* may include small amenities such as barbecues, tot-lots, benches, trellis structures and walkways. Tree sizes shall be minimum 24" box unless otherwise directed by the City Parks Program.

Landscape Greens trees shall allow easy visibility under their canopies. Smaller greens may be completely open or shall have accent trees that display seasonal changes or unusual habit. The following trees are to be used on the *Landscape Greens*. Other tree selections may be considered subject to the approval of the Parks and Facilities Division.

Space-Defining Trees

Cupressus sempervirens/Italian Cypress

Fraxinus uhdei/Evergreen Ash

Koelreuteria bipinnata/chinese Flame Tree*

Magnolia grandiflora/So. Magnolia

Ligustrum lucidum/Glossy Privet

Liquidambar styraciflua/American Sweetgum

Palm species/Palms

Cinnamomum camphora/camphor tree

Accent Trees

Phoenix canariensis/Canary Island Date Palm

Schinus molle/California Pepper

*These trees are wind sensitive and should be planted in protected locations.

b. Landscaping on Private Lots

Residential Planning Areas

Front Yard Types: The front yards of the houses shall contribute to distinctive streetscapes throughout the *Residential Community*. The types of landscaping, hardscape, and walls or fences that are built adjacent to the streets will define the character of the neighborhood. The *Specific Plan* allows for front yard landscape treatments that emphasize the Front Lawn, which will be the signature for the community. Front Yard landscaping may include:

- The primary ground covering shall be turf.
- Low shrubs and/or groundcovers shall be planted as a ground row at the house.
- Front yard trees may include those listed in Yard Trees, below.
- Ground covering within the Yard may be up to 50 percent hardscape, which may be designed as access to the *garage* and for guest parking, front walks and courtyards. Hardscape may include brick, stone, cast stone, colored and/or textured concrete, and decomposed granite. The balance of yard shall be landscaped. Hardscape may be used for driving and parking of automobiles.
- Landscaping may include turf, low shrubs, groundcover, and yard trees listed below.
- Front yard landscaping may be allowed by homeowner; to be completed within 90 days of close of escrow, and subject to these standards, A typical landscape plan shall be developed by the home builder to establish minimum amounts and sizes of landscaping, Should the home owner fail to install landscaping within 90 days. Home builder/developer shall take whatever legal means available to ensure installation.

Recommended for *Residential Planning Areas*:

Yard Trees: Tree shapes, sizes and types shall be planted as buffers and as definers of the edge of the private space, but at all times should be in proportion to the *Height* and mass of the building *Façade*.

Trees may include:

Cupaniopsis anacardioides/Carrotwood

Bauhinia blakeana/Orchid Tree *

Jacaranda mimosifolia/Jacaranda *

Ligustrum lucidum/Glossy Privet

Liquidambar styraciflua/Sweetgum
Koelreuteria bipinnata/Chinese Flame Tree *
Magnolia grandiflora/So. Magnolia
Pittosporum undulatum/Victorian Box
Podocarpus gracilior/Fern Pine
Prunus spp./Ornamental Plum
Tipuana tipu/Tipu Tree

* These trees are wind sensitive and should be planted in protected locations.

Institutional, Affordable Housing and Specialized Commercial Office Planning Areas

Parking Lots: Landscaping of parking lots shall consist of 36-inch box sized trees, which shall be provided at the rate of one (1) tree per six (6) parking spaces. Parking lot trees may include:

Cupaniopsis anacardioides/Carrotwood
Prunus caroliniana/Carolina cherry
Pittosporum undulatum/Victorian Box
Tipuana tipu/Tipu Tree
Tristania conferta/Brisbane Box
Podocarpus gracilior/Fern Pine

Tall Shrubs: These shall reach 3 to 10 feet in *height* at maturity and shall not be frequently sheared or pruned. The shrubs shall display flower and/or foliage color, and be resistant to prolonged periods of drought. Acceptable species are:

Abelia grandiflora/Glossy Abelia
Escallonia fradesii/Escallonia
Elaeagnus pungens/Silverberry
Nerium oleander/Oleander
Photinia fraseri/Photinia
Plumbago auriculata/Cape Plumbago
Pittosporum tobira/Mock Orange
Pittosporum t. "Variegata"/Variegated Tobira
Raphiolepis sp./India Hawthorn
Xylosma congestum/Shiny Xylosma

Low shrubs and groundcovers: These shall reach no more than 3 feet in *height* at maturity, without requiring frequent shearing and pruning. The shrubs shall display flower and/or foliage color, and be resistant to prolonged periods of drought. Acceptable species are:

Bougainvillea/Bougainvillea
Carissa macrocarpa/Prost. Natal Plum
Cistus salvifolius/Prostrate Rockrose
Cotoneaster "Lowfast"/Prost. Cotoneaster
Dietes spp./Fortnight lily

*Euonymus f. "Colorata"/*Euonymous
*Hemerocallis sp./*Daylily
*Lantana montevidensis/*Trailing Lantana
*Lavendula sp./*Lavender
*Limonium perezii/*Sea Lavender
*Raphiolepis sp./*India Hawthorn
*Rosa sp./*Rose
*Trachelospermum jasminoides/*Star Jasmine

Hedge plantings: These shrubs shall be pruned and sheared into a solid hedge row of the specified *height*, without breaks or openings between individual shrubs. Acceptable species are:

*Buxus japonica/*Japanese Boxwood
*Escallonia fradesii/*Pink Escallonia
*Ligustrum texanum japonicum/*Wax Leaf Privet
*Raphiolepis "Springtime"/*India Hawthorn
*Photinia fraseri/*Red Photinia
*Pittosporum undulatum/*Victorian Box
*Pittosporum tobira/*Mock Orange

Trash Enclosures and Walls at Loading Areas: These walls shall be planted with self-adhering vines no less than 10 feet on center and a minimum of 5 gallons in size. Acceptable species are:

*Ficus pumila repens "Minima"/*Creeping Fig
*Parthenocissus tricuspidata/*Boston Ivy

c. Walls and Fences

Fencing in the Residential Community

All fencing and wall *heights* will be measured vertically from the average finished grade at the base of the fence or wall. Side and rear yard walls will have a maximum *height* of 6'-0".

Side yards requiring a retaining wall will provide a minimum horizontal separation of 3'-0" between the side yard wall and the retaining wall to allow for planting.

Fencing and walls must be of plaster, slump block, stucco, concrete, masonry finish, tubular steel, or tempered glass. Finish colors must be approved by the City and be consistent with the architectural palette.

Fencing and walls must meet pool safety code requirements for *height* and picket spacing.

All retaining walls must be properly waterproofed and drained.

Walls may not occur directly adjacent to a walkway. A minimum 2'-0" landscape area is required.

Sideyard gates may be wood or tubular steel.

Specialty Fencing and Walls in the Residential Community

Decorative fencing and walls may occur at the project entries, within the *Landscape Greens* and at the recreation area. Wall materials and finishes will relate to the community's architectural character. Materials may include but are not limited to:

- Slump block with painted sack finish;
- Plaster & stucco;
- Brick;
- Stone;
- Concrete.

d. Mailboxes

Mailboxes in the *Residential Community* will be ganged in groups of two (2) to sixteen (16) in a Post Office issued kiosk. The mailbox kiosk will be enhanced to match the architectural character of the surrounding neighborhood. Materials may include wood, iron, masonry, stone or brick. The kiosk may include a decorative light fixture. Mailbox kiosks should be located at the entries to streets and on or near the *Landscape Greens*.

e. Lighting

Street lights

Street lights in the *Residential Community* will be a decorative pole light with a traditional globe fixture to match the architectural character of the neighborhood. Cobra lights will not be permitted at the entries or within the private *residential community*. Poles may be concrete or aluminum. Color and finish will be reviewed the City.

Decorative lighting

Decorative uplights, bollards and wall wash fixtures are allowed in the *Residential Community* at the entries to the *Residential Community*, *Landscape Greens*, and private recreational area. These lights will be high quality 120 volt fixtures and will match the architectural character the neighborhood.

f. Curbs

The standard curb for the *Residential Community* will be the City standard Plan Plate III (6" x 18"). The curb will be natural gray concrete. Standard drive aprons will be used at all driveways.

g. Sidewalks

The sidewalks in the *Residential Community* will be natural gray medium acid wash finish concrete per City Standard Plan Plate #113. Walkways within the *Landscape Greens* and private recreational area may include, but are not limited to:

- Natural gray acid wash concrete;
- Integral color concrete with acid wash finish;
- Seeded concrete;
- Flagstone;
- Brick;
- Decomposed granite;
- Gravel;
- Precast concrete pavers.

h. Signage

Neighborhood signage may occur at internal intersections to announce the *West*, *East* and *Central Neighborhoods*. The character of these signs will be in keeping with the architectural character and the monument style of the entry. The goal is to provide a consistent group of signs that connects all internal neighborhoods, announces the entries and provides directional information throughout the open space system. Materials include but are not limited to:

- Slump block with painted sack finish;
- Plaster & stucco;
- Brick;
- Stone;
- Iron
- Concrete.

i. Enhanced paving

Enhanced paving may occur in the *Residential Community* at entries, streets, intersections, driveways, and walkways. Materials may include but are not limited to:

- Natural gray acid wash concrete;
- Integral color concrete with acid wash finish;
- Seeded concrete;
- Flagstone;
- Precast concrete pavers.

j. Standards

In addition to City of Oxnard Landscape Standards and guidelines the following landscape provisions shall apply:

- All areas not devoted to paving or building shall be landscaped and permanently maintained.
- To complement building elevations, a landscape area shall be provided adjacent to *Façades* and side elevations as designated herein. Planting area dimensions shall be consistent with plant material requirements and the purpose of the planting, such as aesthetics, screening, environmental mitigations, air quality, wind, etc.
- Permanent automatic irrigation facilities shall be provided in all landscaped areas.
- Prior to the issuance of building permits, a landscape and irrigation plan in conformance with these Standards shall be submitted to, and approved by, the City.
- To minimize exterior water use, the following measures shall be incorporated into project design within the project area, where feasible: use of drought tolerant plants, extensive use of mulch in landscaped areas, installation of low precipitation rate irrigation systems where appropriate.
- Impervious paving and other areas which limit the percolation of rainwater and irrigation water into the ground water table shall be minimized wherever possible.
- All street trees shall be planted and staked per City of Oxnard Landscape Standards and Details. All trees planted in turf areas shall receive turf boots to prevent damage from mowers and edgers, etc. Root barriers shall be required where trees are planted within five (5) feet of any walls, curbs, walks, buildings or other hardscape.
- All plant materials shall be in the sizes specified in **Table 3**, Master Plant Palette, and shall be planted in accordance with all City standards and minimum requirements.
- Front yards shall be landscaped by homeowner within 90 days for close of escrow.

Existing Eucalyptus Windrows

Prior to the approval of any tentative subdivision maps in the *Residential Community* the developer shall retain the services of a certified arborist, who shall inspect and evaluate the existing eucalyptus windrows that are to be preserved in *Avenues D* and *E* and prepare a report for review and approval by the staff of the City's Parks Department. In addition to reporting on the health of the trees, the arborist's report shall determine whether the 24 foot wide median proposed for *Avenues D* and *E* is sufficient in width and if a wider median section is needed to protect the health of these trees. The report shall also address the degree to which "root pruning" and overall "crown reduction" of the tree canopy should be completed and when these activities should be completed in relation to the growing season and the planned timing of construction of these streets. The arborist preparing this report shall be certified by the International Society of Arboriculture and a member of the American Society of Consulting Arborists.

Under no circumstance during or after construction of these streets shall the windrow trees be topped, and all pruning should be performed under the direction of a certified arborist meeting the requirements defined above. After construction of the streets, the tree rows shall be inspected annually by a certified arborist and a report shall be prepared and submitted to the City addressing: (A) The general health and safety of each tree; (B) Any specific problems relating to each tree; (C) Recommendations to solve each problem; (D) Any required root pruning or crown reduction. After construction of the streets by the developer, the cost of the annual report on the trees and any pruning shall be the responsibility of the homeowners association.

Trees

Seventy (70%) percent of the trees provided shall be a minimum twenty-four inch (24") box; the balance of the trees shall have a minimum size of fifteen (15) gallons. Street trees are preferred to be in a thirty-six inch (36") box. Value of trees and shrubs over the minimum required can be credited against value of Eucalyptus trees removed from windrow.

Shrubs

Shrubs located at entries and major intersections shall have a minimum size of five (5) gallons with minor exceptions as approved by the Oxnard Parks Program. Smaller shrubs such as daylily, star jasmine and other ground covers may be planted at a minimum size of one (1) gallon.

Drought Tolerant Plant Materials

Drought tolerant plant materials shall be defined as plants listed as Moderate, Low, and Very Low in the WUCOLS PROJECT listing of Water Use Classification of Landscape Species as published by the University of California Cooperative Extension. University of California Publications can be obtained from:

ANR Publications
 University of California
 6701 San Pablo Avenue
 Oakland, California 94608-1239
 Telephone: (415) 642-2431

Table 3
Master Plant Palette

Trees and Shrubs may be selected from the following master plant palette:

<u>BOTANICAL NAME</u>	<u>COMMON NAME</u>	<u>SPACING</u>	<u>SIZE</u>
<u>TREES</u>			
<i>Agonis flexuosa</i>	Peppermint Tree	20'	24"
* <i>Bauhinia blakeana</i>	Orchid Tree	20'	24" & 36"
<i>Calodendrum capense</i>	Cape Chestnut		24" & 36"
<i>Cedrus deodara</i>	Deodar Cedar	30'	36"
<i>Cinnamomum camphora</i>	Camphor	30'	36"
<i>Cupaniopsis anacardioides</i>	Carrotwood	20'-30'	24" & 36"
<i>Cupressus sempervirens</i>	Italian Cypress	10'	24"
<i>Eucalyptus nicholii</i>	Willow-leafed Peppermint	15'-30'	15 gal.
<i>Eucalyptus viminalis</i>	Manna Gum	40'	15 gal.
<i>Fraxinus uhdei</i>	Evergreen Ash	30-40'	36"
* <i>Koelreuteria bipinnata</i>	Chinese Flame Tree		
* <i>Jacaranda mimosifolia</i>	Jacaranda	30'	36"
<i>Liriodendron tulipifera</i>	Tulip Tree		30", 24" & 36"
<i>Ligustrum lucidum</i>	Glossy Privet	30'	24" & 36"
<i>Liquidambar styraciflua</i>	Sweetgum	15'-30'	24" & 36"
<i>Magnolia grandiflora</i>	Southern Magnolia	30'	36"
<i>Phoenix canariensis</i>	Canary Island Date Palm	25'	10' brown trunk
<i>Pinus eldarica</i>	Afghan Pine	30'	24" & 36"
<i>Pittosporum undulatum</i>	Victorian box	25'	24" & 36"
<i>Podocarpus gracilior</i>	Fern Pine	20'-30'	24" & 36"
<i>Prunus</i> spp.	Ornamental Plum	25'	24"
<i>Prunus caroliniana</i>	Carolina Cherry	20'	24"

BOTANICAL NAME	COMMON NAME	SPACING	SIZE
<i>Pyrus</i> spp.	Ornamental Pear	25'	24"
<i>Schinus molle</i>	California Pepper	30'	36"
<i>Tipuana tipu</i>	Tipu Tree	30'	24" & 36"
<i>Tristania conferta</i>	Brisbane Box	30'	36"
<i>Ulmus parvifolia</i>	Evergreen Elm	30' & 40'	36"
SHRUBS			
<i>Abelia grandiflora</i>	Glossy Abelia	4-6'	1 or 5 gal.
<i>Acacia redolens</i>	N.C.N.	8'	1 gal.
<i>Arbutus unedo</i>	Strawberry Tree	8-10'	5 gal.
<i>Asparagus d. 'Myers'</i>	Myer's Asparagus	2-3'	1 gal.
<i>Baccharis pilularis</i>	Coyote Bush	4-6'	1 gal.
<i>Bougainvillea</i> sp.	Bougainvillea	4'-6'	1 & 5 gal.
<i>Buxus m. japonica</i>	Japanese Boxwood	3-4'	1 or 5 gal.
<i>Carissa macrocarpa</i>	Prost. Natal Plum	3'	5 gal.
<i>Cercis occidentalis</i>	Western Redbud	6-8'	1 or 5 gal.
<i>Ceanothus</i> spp.	Varies	varies	1 or 5 gal.
<i>Cistus</i> sp.	Rockrose	4'	1 or 5 gal.
<i>Coleonema pulchrum</i>	Pink Breath of Heaven	5'	1 or 5 gal.
<i>Cotoneaster</i> sp.	Cotoneaster	varies	1 or 5 gal.
<i>Dietes bicolor</i>	Fortnight Lily	5'	1 or 5 gal.
<i>Elaeagnus pungens</i>	Silverberry	6'	5 gal.
<i>Escallonia fradesii</i>	Escallonia	4'	5 gal.
<i>Euonymus</i> sp.	Euonymus	4-6'	1 or 5 gal.
<i>Feijoa sellowiana</i>	Pineapple Guava	15'	5 gal.
<i>Grevillea Noelli</i>	Noel's Grevillea	4'	1 or 5 gal.
<i>Hemerocallis</i> sp.	Daylily	2'	1 or 5 gal.
<i>Heteromeles arbutifolia</i>	Toyon	8'	1 or 5 gal.
<i>Limonium perezii</i>	Sea Lavender	2'	1 or 5 gal.
<i>Lantana montevidensis</i>	Trailing Lantana	5'	1 or 5 gal.
<i>Lavandula</i> sp.	Lavender	2'	1 or 5 gal.
<i>Leptospermum scoparium</i>	New Zealand Tea Tree	6-8'	1 or 5 gal.
<i>Ligustrum j. 'Texanum'</i>	Japanese Privet	3-5'	1 or 5 gal.
<i>Nerium oleander</i>	Oleander	6-8'	1 or 5 gal.
<i>Pennisetum setaceum</i>	Fountain Grass	varies	1 or 5 gal.
<i>Photinia fraseri</i>	Photinia	8'	1 or 5 gal.
<i>Phormium tenax</i>	New Zealand Flax	6'	1 or 5 gal.
<i>Plumbago auriculata</i>	Cape Plumbago	6'	1 or 5 gal.
<i>Pittosporum</i> sp.	Mock Orange	varies	1 or 5 gal.
<i>Punica granatum 'Nana'</i>	Dwarf Pomegranate	3'	1 or 5 gal.
<i>Pyracantha</i> spp.	Pyracantha	varies	1 or 5 gal.
<i>Prunus caroliniana</i>	California Laurel Cherry	6'	1 or 5 gal.
<i>Raphiolepis</i> sp. (small varieties)	India Hawthorn	2'-0"	1 or 5 gal.
<i>Raphiolepis</i> sp. (large varieties)	India Hawthorn	4'-0"	5 gal.
<i>Rosa</i> sp.	Rose	4'0"	5 gal.
<i>Rosmarinus officinalis 'Prostratus'</i>	Rosemary	3-5'	1 gal.
<i>Salvia</i> sp.	Sage	3'-4'	5 gal.
<i>Santolina</i> spp.	Lavender Cotton	varies	1 or 5 gal.

BOTANICAL NAME	COMMON NAME	SPACING	SIZE
<i>Sollya heterophylla</i>	Australian Bluebell Creeper	3-4'	1 or 5 gal.
<i>Tecomaria capensis</i>	Cape Honeysuckle	6-8"	1 or 5 gal.
<i>Trachelospermum jasminoides</i>	Star Jasmine	3'	1 gal.
<i>Xylosma congestum</i>	Shiny Xylosma	8'	1 or 5 gal.
GROUNDCOVERS			
<i>Arctostaphylos</i> spp.	Manzanita	varies	flats/ containers
<i>Carissa grandiflora</i>	Natal Plum	18-24'	1 gal.
<i>Hedera helix</i> 'Hanhii'	Hahn's Ivy	8-12"	flats
<i>Hypericum calycinum</i>	Aaron's Beard	8-12"	flats
<i>Lippia canescens</i>	Lippia	8-12"	flats
<i>Lonicera japonica</i>	Japanese Honeysuckle	12-18"	flats
<i>Pyranantha</i> 'Santa Cruz'	Santa Cruz Pyranantha	3-4'	1 gal.
<i>Rosmarinus officinalis</i> 'Prostratus'	Periwinkle	3-4'	1 gal.
<i>Vinca major</i>		12-18"	flats
VINES			
<i>Antigonon leptopus</i>	Rosa de Montana	varies	1 or 5 gal.
<i>Distictus buccinatoria</i>	Blood Red Trumpet Vine	varies	1 or 5 gal.
<i>Ficus pumila</i>	Creeping Fig	varies	1 gal.
<i>Gelsemium sempervirens</i>	Carolina Jessamine	varies	1 or 5 gal.
<i>Hardenbergia violacea</i>	N.C.N.	varies	1 or 5 gal.
<i>Parthenocissus tricuspidata</i>	Boston Ivy	varies	1 gal.
<i>Rosa banksiae</i>	Lady Banks Rose	varies	1 or 5 gal.

4.0 IMPLEMENTATION

4.1 Required Approvals and Actions

In addition to adoption of this *Specific Plan* by the City of Oxnard, the City will enter into a Development Agreement authorized pursuant to Section 65865 et seq. of the California Government Code.

This *Specific Plan* shall not become operative until a Development Agreement is signed by the City of Oxnard and all owners of private property in the *Specific Plan Area*.

4.2 Phasing

a. *Phasing Increments*

The development of the *Specific Plan Area* is anticipated to occur in several phases. The development of the major land use components allowed by this *Specific Plan* (the golf course in the *Public Recreation Planning Area*; the elementary school in the *Public School Planning Area*, churches and related facilities in the *Institutional Planning Areas*; and the single-family homes in the *Residential Planning Area*) may occur independently of one another. The sequence of development of these major elements of the *Specific Plan* cannot be predicted, and will depend on market conditions.

The extent and sequence of the phases of development shall be as approved through the *Development Review Process* and subdivision map approval process with implementation of the utility master plans, as contained in the *Specific Plan* as required to provide necessary utility services.

In the *East Neighborhood*, which includes the custom quality residential lots, the public improvements shall be constructed in a single phase, including all streets, greens, and related landscaping. The development of the individual lots in the *East Neighborhood* may occur one at a time.

4.3 Development Review Process

Development in the *Residential Community* shall be subject to the City's standard review and approval processes for subdivision maps, *Special Use Permits* and *Development Design Review Permits* as required by this *Specific Plan*.

Homes planned for the *Custom Home Sites* in the *East Neighborhood* are subject to design review by the staff of the Development Services Department. Staff may refer plans for homes on *Custom Home Sites* in the *East Neighborhood* to the City's Design Review Committee for additional review if determined necessary by staff. A *Development Design Review Permit* is required for all residential development in the *West* and *Central Neighborhoods* and for residential development on lots in the *East Neighborhood* not designated as *Custom Home Sites*.

A *Special Use Permit* is required for all *Institutional Uses* allowed by this *Specific Plan*.

Development within the *Affordable Housing, and Private Recreation Planning Areas* is subject to the issuance of a *Development Design Review Permit*.

Development within the *Commercial Office Area* shall be Permitted by Right subject to a minor modification with Development Advisory Committee review (DAC).

All proposed development within the Northwest Golf Course Community is subject to the standards and guidelines in this *Specific Plan*. As part of the applicable review process (i.e., Staff Review, *Development Design Review Permit*, *Special Use Permit*, Subdivision Map Approval, etc.) the City of Oxnard shall review project submittals for consistency with these standards and guidelines.

4.4 Affordable Housing

This *Specific Plan* includes a site restricted to the development of at least 54 units of affordable housing. In addition, the Development Agreement requires the Developer to pay affordable housing fees.

The Developer has entered into an agreement with Cabrillo Economic Development Corporation (CEDC) to construct the affordable housing units. The agreement provides that if CEDC does not commence construction of the units within a certain time, the CEDC shall offer to transfer the affordable housing site to the City and, if the City does not accept the site, to offer to transfer the site to another developer that is willing and able to construct the affordable housing units.

This *Specific Plan* provides for the design and architecture of the affordable housing units. An application to construct the affordable housing units will be approved through the issuance by City staff of a *Development Design Review Permit* as provided by Section 36-5.3.7 of the City Code, provided the design and architecture of the proposed project is approved by City staff through the design review process.

This *Specific Plan* allows the development of more than 54 units for the affordable housing project by applying a density bonus. This *Specific Plan* also allows the affordable housing project to provide fewer guest parking spaces than required by city code.

The City Council shall also dedicate to the affordable housing project in-lieu affordable housing fees paid on the issuance of building permits for market rate units to be constructed in the *Specific Plan* area, to the extent necessary to make construction of the affordable housing units economically feasible. After CEDC or a successor developer submits an application for construction of the affordable housing units and the City deems the application complete, and after CEDC or the successor developer submits complete information about the proposed financing of the project, including any additional incentives that are required to make the project economically feasible, the City Council shall determine, on the basis of information submitted by City staff and CEDC or the successor developer, the necessity for and amount of such dedication of affordable housing fees and additional incentives, consistent with the construction of the project to standards acceptable to the City Council.

The CEDC, or the successor developer, shall ensure the continued affordability of all units in the affordable housing project by executing an agreement in a form approved by both the City Attorney and the Director of Housing.

4.5 Development Agreements

It is contemplated that *Development Agreements* may be used to implement the Goals and Policies of the *Specific Plan*.

A Development Agreement is a contract between the City of Oxnard and the property owners/applicants, which delineates the terms and conditions of the Developer's proposed project. By enacting the Development Agreement Legislation of 1979, the California Legislature provides for the following measures:

- Certainty: The lack of certainty in the approval of development projects can result in a waste of resources, escalate the cost of housing and other development to the consumer, and discourage investment in and commitment to comprehensive planning which would make maximum efficient utilization of resources at the least economic cost to the public.
- Assurance: Assurance is necessary to the applicant for a development project that upon approval of the project the applicant may proceed with the project in accordance with existing policies, rules and regulations, and subject to the conditions of approval. Such assurance will strengthen the public planning process, encourage private participation in comprehensive planning, and reduce the economic cost of development (Government Code Section 65864).

- Intent of Legislation: This legislation was intended both to preserve local government control over development projects and to give developers the opportunity to specify the parameters of a project in one undertaking. The Development Agreement Legislation fulfills the public needs to alleviate haphazard land regulation schemes that burden smaller, less integrated development projects, and to provide for comprehensive long-term planning and land use regulation for major developments.
- Government Code Section 65864: Pursuant to California Government Code Section 65864, et seq., and city-wide procedures for Development Agreements, adopted by the City of Oxnard City Council pursuant to California Government Code Section 65865, an applicant in any zone, for any proposed development, may apply for a Development Agreement.

4.6 Mitigation Monitoring and Reporting Program

The Mitigation Monitoring and Reporting Program is included in **Appendix B** of this *Specific Plan*. All mitigation measures contained in this program shall be implemented as specified by this program.

4.7 Administration

The *Specific Plan* includes development and design standards and guidelines but cannot foresee every potential condition requiring decisions within the *Development Review Process*. The adoption of amendments to the 2020 *General Plan* or a General Plan Update by the City will not necessarily require amendment of the *Specific Plan*. However, any subsequent discretionary approval or amendment to the *Specific Plan* must be consistent with the General Plan as amended and/or updated, except to the extent that such change in the General Plan deals with matters with respect to which the Developer/Applicant shall possess vested rights under the terms of a Development Agreement entered into between the Developer/Applicant and the City.

Future development applications will be processed that are in substantial conformance with the *Specific Plan* or that may require an amendment to the *Specific Plan*. This section shall govern these applications and classifies them into three categories: Minor Modifications, Major Modifications, and Specific Plan Amendments.

a. Minor Modifications

The following items may deviate, within specified limitations, from the adopted *Specific Plan* but shall be considered to be in Substantial Conformance with the *Specific Plan*. This review shall occur at staff level, through the *Development Review Process* if so determined by the Planning and Environmental Services Manager (Manager). The Manager, however, shall have the discretion to refer

any such request for modification to the Planning Commission as a Major Modification. Conversely, the applicant shall have the right to appeal decisions of the Manager to the Planning Commission and/or City Council.

- Final facility sizing and alignment of water, sewer, and storm drain improvements (as directed by the City Engineer).
- Change in utility and/or infrastructure servicing agency.
- *Avenue* alignment within neighborhoods so long as the number and approximate spacing of connections shown on the *Land Use Concept Plan* is maintained.
- *Neighborhood Street*, road and bicycle/jogging trail alignments provided that connecting of destination points is maintained.
- Minor landscape and streetscape design modifications consistent with the *Design Guidelines* contained in this document and approved through the *Development Review Process*.
- Deletion of utility infrastructure deemed unnecessary by the City Engineer.
- Minor changes to the configuration of the development in the *Affordable Housing* and *Specialized Commercial Office Planning Areas*.

b. Major Modifications

Amendments may be requested at any time pursuant to Section 65453(a) of the Government Code. Proposed amendments deemed to be Major Modifications by the Planning and Environmental Services Manager as defined herein will be processed by the Planning and Environmental Services Division through the *Development Review Process* and approved by the Planning Commission. If the Manager so determines, the changes identified below may be processed as a *Specific Plan* Amendment as described below.

- Location or reconfiguration of streets.
- Specific modifications of a similar nature to those listed above, which are deemed by the Manager to be in keeping with the spirit and intent of the *Specific Plan*, and are in conformance with the *2020 General Plan*.

c. Specific Plan Amendments

Amendments may be requested at any time pursuant to Section 65453(a) of the Government Code. If any proposed modification to the *Specific Plan* is deemed major by the Planning and Environmental Services Manager, it will be processed as an amendment to the *Specific Plan*. Depending upon the nature of the

proposed amendment to the *Specific Plan*, additional environmental analysis may be required, pursuant to Sections 15162–15164 of the CEQA Guidelines.

d. Special Use Permits

Institutional Uses shall require *Special Use Permits*. Projects requiring *Special Use Permits* shall be processed in accordance with the Oxnard City Code. *Special Use Permit* requests shall be approved by the decision-making authority if the following findings are made. These findings are in addition to any findings by California State Law and Oxnard City Code:

- The proposed special use is consistent with the *Specific Plan*;
- The nature, condition and development of adjacent uses, buildings and structures shall be considered and no proposed special use shall be permitted where such use will adversely affect or be materially detrimental to said adjacent uses, buildings or structures;
- The site for a proposed special use is adequate in size and shape to accommodate the yards, walls, fences, parking and loading facilities, landscaping and other development features prescribed in the *Specific Plan*, or as required by the Planning Commission as a condition in order to integrate said use with the uses in the neighborhood; and
- The site for a proposed special use is served by streets adequate in width and improved as necessary to carry the kind and quantity of traffic such use would generate.

4.8 Glossary

For the purposes of this *Specific Plan*, except as specifically hereinafter provided, the following words and phrases shall have the meanings ascribed to them by this section:

2020 General Plan: The City of Oxnard 2020 *General Plan*

Accessory building: A detached building located on the same lot or parcel as a *main building*, smaller than same, and used for purposes related to and secondary to the use of the *main building*, such as *garage*, storage shed, covered patio, etc.

Accessory use: A use of property separate from, but related, subordinate and secondary to, the main use of a lot or parcel.

Agricultural Use: The growing of plants and/or domestic animals for commercial sale, including use of machinery and structures normally associated with farming. See the *Zoning Code* for detailed descriptions of permitted uses.

Avenues: Those roadways identified as “Avenue” on **Exhibit 3** in the *Specific Plan*.

Building, main: The building wherein the principal use of a lot or parcel is conducted. The *main building* includes all attached structure where more than eight (8) lineal feet of a wall is commonly used.

Central Neighborhood: The portion of the *Residential Community* located between the two existing windrows.

Courtyard Wall: An opaque freestanding wall built on the *Required Setback Line* with the purpose of defining a courtyard or masking parking from the street. *Courtyard Walls* shall be between 36 inches and 54 inches in *height* as measured from the adjacent pavement, except as specifically noted otherwise in the Landscape Regulations. *Courtyard Walls* shall conform to the Architectural Regulations for garden walls, matching the adjacent building, or shall be a continuous maintained hedge of the stated *height*. *Courtyard Walls* may have openings to allow automobile access to parking lots, and shall have openings, which may be gated, to allow pedestrian access.

Custom Home Sites: Residential lots located in the *East Neighborhood* designated for the development of custom homes.

Design Guidelines: The guidelines contained in Section 3.2 of the *Specific Plan*.

Development Design Review Permit: An Administrative Development Design Review Permit as defined by the *Zoning Code*.

Development Review Process: As used in this *Specific Plan*, this term means any review or permit process otherwise required.

Dooryard: A yard between the street and a building bounded by a garden wall between 18 inches and 24 inches in *height* or by a picket fence between 30 inches and 42 inches in *height*, built on the *Frontage Line(s)*.

Dwellings, single-family: A building containing one (1) *dwelling unit* whether built as a detached building or as an attached *townhouse* type of unit that does not involve common ownership or adjacent parcels of real property.

Dwelling unit: A room or suite of rooms designed as a residence for one family and containing one kitchen.

Dwelling unit, primary: The main residential structure containing one *dwelling unit* located on a single-family lot.

Dwelling unit, second: An additional self-contained dwelling; independent living facilities including sleeping quarters, a bathroom, a kitchen, constructed within or added onto an existing residence. A second unit is subordinate to and smaller than a *primary dwelling unit*.

East Neighborhood: The portion of the *Residential Community* located between Patterson Road and the nearest existing windrow.

Façade: The vertical surface of a building, set parallel to a *Frontage Line*.

Fine Masonry: Masonry of a natural material, such as stone or brick

Front Porch: A roofed structure, that is not enclosed, attached to the *Façade* of a building.

Frontage: That portion of a lot, parcel or site that abuts a dedicated public street (not an alley).

Frontage Line: The property line(s) of a lot fronting a street or the boundary of an open space, such as a park or green.

Frontage Setback Line: The setback line at a *Frontage*, upon which *Façades* must be constructed. The setback area between this Line and the *Frontage Line* must be left free of structures that are higher than 42 inches, excluding Streetwalls, except as noted in the Urban or Landscape Regulations.

Garage: An *accessory building* or portion of the *main building* having a minimum of four (4) walls, and designed and used principally for the housing of motor vehicles.

Gazebo: A free standing garden structure, not to exceed 100 square feet in area nor 10 feet in *height*, that may be roofed but not be enclosed.

Greenway Line: The property line(s) of a lot bounding an open space, such as a golf course, linear park, or *major street* (not a *Frontage*).

Height: A limit to the vertical extent of a building or appurtenance. Building *height* is measured in number of *stories* or in feet, relative to the public sidewalk at the *Frontage*. The *height* of walls, fences and other appurtenances is measured in feet and inches relative to adjacent pedestrian ways. *Height* limits do not apply to masts, belfries, clock towers, chimney flues, water tanks, elevator bulkheads, and similar structures, which may be of any *height* approved through the *Development Review Process*.

Independent building: Any building that is not physically joined to another building by a common wall.

Institution: An organization having a social, educational, or religious purpose as a school, church, hospital, club or lodge.

Institutional Planning Area: The *Planning Area* defined in Section 2.4 c. of the *Specific Plan*.

Institutional Use: Church, private school or child care facility.

Land Use Concept Plan: The plan shown in **Exhibit 2**.

Landscape Greens: Landscaped open space areas in the *Residential Community*.

Landscape Standards: The standards contained in Section 3.4 of the *Specific Plan*.

Lane: Any thoroughfare for the use of pedestrians or vehicles, not less than ten (10) feet nor more than twenty-five (25) feet wide, which has been deeded, dedicated or eased to the City as a secondary means of access to abutting lot(s).

Major Streets: Gonzales Road, Patterson Road and Victoria Avenue.

Neighborhood Streets: Roadways within the *Residential Community* built to the standards defined in Section 2.2 c.

Outbuilding: A separate building in addition to, and in the rear yard of, the *main building*, which is a maximum of 2 *stories* and has a maximum net floor area of 600 square feet per *story*, except carports which shall be one (1) *story* only.

Pergola: An openwork structure or lattice having at least fifty (50) percent of its roof open to the sky.

Planning Area: Those areas defined in Section 2.4 of the *Specific Plan*.

Porte Cochere: An open-work structure or archway, attached to the side of a house at the *Façade* and spanning the driveway.

Private Recreation Planning Area: The *Planning Area* defined in Section 2.4 e. of the *Specific Plan*.

Public Recreation Planning Area: The *Planning Area* defined in Section 2.4 a. of the *Specific Plan*.

Required Setback Lines: The setback lines shown on **Exhibit 29**.

Residential Community: The portion of the *Specific Plan Area* located south of the golf course.

Residential Planning Area: The *Planning Area* defined in Section 2.4 d. of the *Specific Plan*.

Shared Parking: Any parking spaces assigned to more than one use, where persons utilizing the spaces are unlikely to need the spaces at the same time of day.

Special Use Permit: A Special Use Permit as defined by the *Zoning Code*.

Specific Plan: The Northwest Golf Course Community Specific Plan.

Specific Plan Area: The approximate 330-acre area shown in **Exhibit 2** of the *Specific Plan*.

Story: That portion of a building included between the upper surface of any floor and the upper surface of the floor next above, except that the topmost *story* shall be that portion of a building included between the upper surface of the topmost floor and the ceiling or roof above. If the finished floor level directly above a basement, cellar or unused underfloor space is more than six (6) feet above grade as defined herein for more than fifty (50) percent of the total perimeter or is more than twelve (12) feet above grade as defined herein at any point, such basement, cellar or unused underfloor space shall be considered as a *story*.

Tandem parking space: A parking space located so that it abuts a second parking space, such that vehicular access to that second space can only be made through the abutting (*tandem*) space.

Terminated Vistas: A building or portion thereof designated to terminate a view through or along a street centerline.

Townhouse: A single-family *dwelling unit* attached to one or more other single-family *dwelling units* provided only one such *dwelling unit* is located on a lot.

West Neighborhood: The portion of the *Residential Community* located between Victoria Avenue and the nearest existing windrow.

Zoning Code: The Zoning Ordinance of the City of Oxnard.

Prepared by:

Specific Plan Consultant:

Impact Sciences, Inc.

Design Guidelines:

Civitas

Civil Engineering Consultant:

Jensen Design & Survey

APPENDIX A

Adoption Ordinances

CITY COUNCIL OF THE CITY OF OXNARD

ORDINANCE NO. 2497
(UNCODIFIED)

AN ORDINANCE ADOPTING THE NORTHWEST GOLF COURSE
COMMUNITY SPECIFIC PLAN

WHEREAS, the Swift Financial Corporation of Oxnard filed applications for the adoption of the Northwest Golf Course Community Specific Plan for 300 acres located south of the Santa Clara River, west of the River Ridge Golf Course, north of Gonzales Road, and east of Victoria Avenue, and also filed applications to amend the City's sphere of influence, annex, pre-zone and amend the 2020 General Plan's land use designation for 261 acres thereof that are now in the unincorporated area, located north of Gonzales Road, east of Victoria Avenue, west of Patterson Road and west and south of the Coastal Landfill, all of which applications are referred to hereinafter as "the Project"; and

WHEREAS, on August 6, 1998, the Planning Commission held a duly noticed public hearing at which written and oral testimony and comments were received and considered, and the Planning Commission certified that a final environmental impact report ("the final EIR") was completed for the Project in accordance with CEQA and reflected the independent judgment of the city; and

WHEREAS, on May 6, 1999, and June 17, 1999, the Planning Commission held a duly noticed public hearing, received written and oral testimony and comments on the Project, and adopted Resolution 99-17 recommending the City Council approve the Project; and

WHEREAS, the City Council has reviewed the Planning Commission Resolution, and considered the final EIR and the documents constituting the record of proceedings for the Project; and

WHEREAS, on July 13, 1999, the City Council held a duly noticed public hearing, and received written and oral testimony and comments on the Project.

NOW, THEREFORE, the City Council ordains as follows:

Part 1. The Northwest Golf Course Community Specific Plan, attached hereto as Exhibit A and incorporated herein by reference, is adopted.

Part 2. This ordinance shall not be included in the City Code.

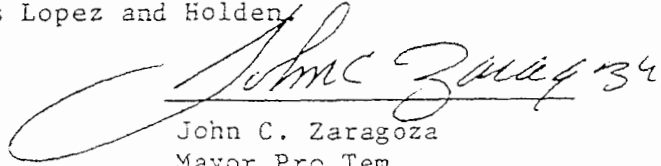
Within fifteen days after passage, the City Clerk shall cause this ordinance to be published one time in a newspaper of general circulation within the City. Ordinance No. 2497 was first read on July 13, 1999, and finally adopted on July 20, 1999, to become effective thirty days thereafter.

AYES: Councilmembers Maulhardt, Pinkard and Zaragoza.

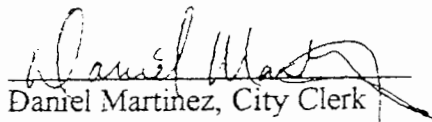
NOES: None.

ABSTAIN: None.

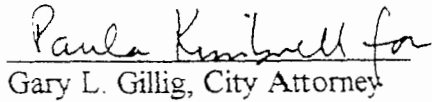
ABSENT: Councilmembers Lopez and Holden.


John C. Zaragoza
Mayor Pro Tem

ATTEST:


Daniel Martinez, City Clerk

APPROVED AS TO FORM:


Gary L. Gillig, City Attorney

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CITY COUNCIL OF THE CITY OF OXNARD

ORDINANCE NO. 2547

ORDINANCE OF THE CITY COUNCIL OF THE CITY OF OXNARD, CALIFORNIA, APPROVING ZONE CHANGE NO. 00-5-116 FOR PROPERTIES LOCATED WITHIN THE NORTHWEST GOLF COURSE COMMUNITY SPECIFIC PLAN AREA. FILED BY THE CITY OF OXNARD.

WHEREAS, in accordance with Section 15070 of the California Code of Regulations, the Planning and Environmental Services Division has determined that there is no substantial evidence that the proposed project may have a significant effect on the environment, and that an Addendum to the Final EIR for the Northwest Golf Course Community Specific Plan has been prepared. The City Council has considered the Final EIR and the Addendum before making its decision herein.

NOW, THEREFORE, the City of Council of the City of Oxnard does ordain as follows:

Part 1. The City's Official Zoning Map shall be amended for a portion of property more particularly described as Assessor Parcel Number (APN) 179-0-07-0-10-5 from C-R (Community Reserve) to R-3 (Medium Density Residential) and for a portion of property more particularly described as Assessor Parcel Number (APN) 138-0-19-0-40-5 from C-R (Community Reserve) to C-O-PD (Commercial Office Planned Development), as shown in Exhibit "1" attached hereto.

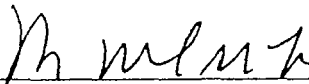
Part 2. Pursuant to Government Code Section 65863.5, the City Clerk shall mail a copy of this ordinance to the Assessor of Ventura County within thirty (30) days from the adoption of this ordinance.

Part 3. Within fifteen (15) days after passage, the City Clerk shall cause this ordinance to be published one time in a newspaper of general circulation and circulated in the City. Ordinance No. 2547 was first read on November 14, 2000 and finally adopted on November 28, 2000, to become effective on the date that Ordinance No. 2549 becomes effective.

AYES: Councilmembers Holden, Lopez, Maulhardt, Pinkard and Zaragoza.

NOES: None.

ABSENT: None.



Dr. Manuel M. Lopez, Mayor

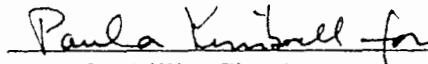
Ordinance No. 2547
Page 2

ATTEST:



Daniel Martinez, City Clerk

APPROVED AS TO FORM:



Gary L. Gillig, City Attorney

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CITY COUNCIL OF THE CITY OF OXNARD

ORDINANCE NO. 2607

ORDINANCE OF THE CITY OF OXNARD, CALIFORNIA,
APPROVING AN AMENDED NORTHWEST GOLF COURSE
COMMUNITY SPECIFIC PLAN (PZ 02-630-01). FILED BY
WESTERN PACIFIC HOUSING, INC.

WHEREAS, on July 20, 1999, the City Council adopted the Northwest Golf Course Community Specific Plan, and further adopted an amended Northwest Golf Course Specific Plan on December 19, 2000; and

WHEREAS, in accordance with Section 15070 of the California Code of Regulations, the Planning and Environmental Services Division has determined that there is no substantial evidence that the proposed project may have a significant effect on the environment, and that an Addendum to the Final EIR for the Northwest Golf Course Community Specific Plan has been prepared. The City Council has considered the Final EIR and the Addendum before making its decision herein.

NOW, THEREFORE, the City Council of the City of Oxnard does ordain as follows:

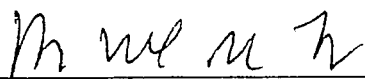
Part 1. The amended Northwest Golf Course Community Specific Plan, on file with the City Clerk, is adopted and replaces the former Northwest Golf Course Community Specific Plan, as amended and dated October 2000.

Part 2. Within fifteen (15) days after passage, the City Clerk shall cause this ordinance to be published one time in a newspaper of general circulation and circulated in the City. Ordinance No. 2607 was first read on September 10, 2002 and finally adopted on September 17, 2002 to become effective thirty days thereafter.

AYES: Councilmembers Lopez, Maulhardt, Pinkard, Zaragoza and Holden.

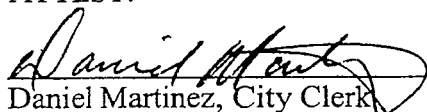
NOES: None.

ABSENT: None.

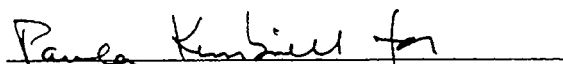


Dr. Manuel M. Lopez, Mayor

ATTEST:


Daniel Martinez, City Clerk

APPROVED AS TO FORM:



Gary L. Gillig, City Attorney

CITY COUNCIL OF THE CITY OF OXNARD

ORDINANCE NO. 2656

ORDINANCE OF THE CITY COUNCIL OF THE CITY OF OXNARD APPROVING AMENDMENT NO. 3 TO THE NORTHWEST GOLF COURSE COMMUNITY SPECIFIC PLAN (PZ 03-630-4). FILED BY TODD TEMANSON, 750 WEST GONZALES ROAD, OXNARD, CA 93036.

WHEREAS, on April 1, 2004, the Planning Commission adopted Resolution No. 2004-27, recommending that the City Council approve Amendment No. 3 to the Northwest Golf Course Community Specific Plan; and

WHEREAS, the City Council has carefully reviewed the recommendation of the Planning Commission; and

WHEREAS, the City Council has conducted a hearing and received evidence in favor of and opposed to the application for an amendment to the Northwest Golf Course Community Specific Plan; and

WHEREAS, in accordance with Section 15070 of the California Code of Regulations, the Planning and Environmental Services Division has determined that there is no substantial evidence that the proposed project may have a significant effect on the environment, and has prepared Addendum No. 3 to the Final EIR for the Northwest Golf Course Community Specific Plan, and the City Council considered the Final EIR and Addendum No. 3 before approving the project.

NOW, THEREFORE, the City Council of the City of Oxnard does ordain as follows:

Part 1. Amendment No. 3 (PZ 03-630-4) to the Northwest Golf Course Community Specific Plan is hereby approved.

Part 2. The Northwest Golf Course Community Specific Plan is amended as follows:

Page 1-4

The eastern portion of the *Specific Plan Area* contains several structures including a single-family home and associated structures. The existing home, known as the McLoughlin House, has been identified as a historical resource due to the association of this structure with the McLoughlin family, one of the early settlers of the Oxnard area. The McLoughlin House is located on the eastern side of the *Specific Plan Area* near Patterson Road. [No changes needed]

Page 2-1

A site is also provided immediately west of where Vineyard Avenue and Patterson Road meet for the possible relocation reconstruction of the McLoughlin House. This historic home will be either restored off site or relocated to this highly visible site from its original location further south on Patterson Road and restored for use reconstructed at this location for uses as a commercial office building.

Page 2-3

Primary access to the *Residential Community* is from Gonzales Road near the center of the *Residential Community* on a formally landscaped boulevard (Avenue A). Secondary access to the *Residential Community* is from a public street (Avenue F) which extends west from Patterson Road and south to Gonzales Road. Secondary access to the *Residential Community* is also provided from Gonzales Road near Victoria Avenue. Access to the *Residential Community* will be controlled by gates at these three entry points. Access to the elementary school will be provided from Avenue F, which borders the school site on the north and west. Access from Patterson Road is provided for the McLoughlin House site while the convent complex and affordable housing site take access from Victoria Avenue. [No changes needed]

Page 2-31 & 2-32

2.4 Planning Areas

The design and use of land within the *Specific Plan Area* is regulated to create the special community characteristics envisioned by this *Specific Plan*. The configuration of the golf course and the variation in neighborhood character within the *Residential Community* is ensured through the definition of *Planning Areas*. In addition, this *Specific Plan* creates special planning areas to facilitate the development of affordable housing and the possible relocation and restoration reconstruction of the historic McLoughlin Home.

This *Specific Plan* creates a *Public Recreation Planning Area* for the golf course, a *Public School Planning Area* for a new public elementary school, an *Institutional Planning Area* for churches and related uses, and a *Residential Planning Area*. An *Affordable Housing Planning Area* is created for a portion of the *Specific Plan Area* provided for development of an affordable housing project and a *Specialized Commercial Office Planning Area* is created to provide a site for the possible relocation of the McLoughlin Home.

Page 2-37

This *Planning Area* has been created to provide a site for the possible relocation and rehabilitation/reconstruction of the McLoughlin House. After rehabilitation/reconstruction, the home may be used for commercial office purposes. This is the only allowed use in this *Planning Area*. Should the McLoughlin House be relocated off site, this area shall revert to open space use. Berming shall be provided on the commercial office site parallel to and immediately adjacent to the roadway edge along Patterson Road where the roadway curves and turns into Vineyard Avenue.

Page 3-10

e. *Specialized Commercial Office Planning Area*

This *Planning Area* has been created to allow for the possible relocation and restoration/reconstruction of the McLoughlin Home.

1. Relocation/Reconstruction of the McLoughlin Home within the *Specialized Commercial Office Planning Area* shall be in substantial conformance with the site diagram in **Exhibit 32**.
2. Access, sidewalk, parking and landscape areas within this *Planning Area* shall substantially conform in size and location with the site diagram in **Exhibit 32**.
3. Twenty parking spaces shall be provided for the McLoughlin Home.
4. Signage for the McLoughlin Home shall be limited to a single monument sign located at the driveway into the site.
5. ~~Should the McLoughlin House be relocated off site, this area shall be designated as Recreation.~~


Part 3. Within fifteen days after passage, the City Clerk shall cause this ordinance to be published one time in a newspaper of general circulation within the City. Ordinance No. 2656 was first read on May 4, 2004 and finally adopted on May 11, 2004 to become effective 30 days thereafter.

PASSED AND ADOPTED this 11 day of May, 2004, by the following vote:

AYES: Councilmembers Maulhardt, Pinkard, Zaragoza and Herrera.

NOES: None.

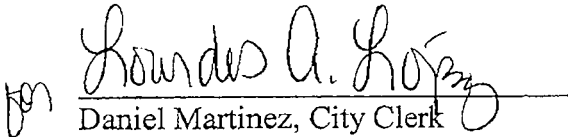
ABSENT: Mayor Lopez.



Dean Maulhardt, Mayor Pro Tem

ATTEST:

APPROVED AS TO FORM:



Daniel Martinez, City Clerk



Gary L. Gillig, City Attorney

APPENDIX B

Mitigation Monitoring Program

**EXHIBIT 2
CITY OF OXNARD
MITIGATION MONITORING PROGRAM**

PROJECT NAME: Northwest Golf Course Community Specific Plan

DEIR No.: 97031009

APPROVAL DATE: _____

The Mitigation Monitoring Program (MMP) has been prepared in conformance with Section 21081.6 of the California Environmental Quality Act. It is the intent, of this program to (1) verify satisfaction of the required mitigation measures; (2) provide a methodology to document implementation of the required mitigation; (3) provide a record of the Monitoring Program; (4) identify monitoring responsibility; (5) establish administrative procedures for compliance with mitigation measures; (6) establish the frequency and duration of monitoring; and (7) utilize existing review processes, wherever feasible.

The following environmental mitigation measures were incorporated in the approval for this project in order to mitigate potentially significant environmental impacts to a level of insignificance. Subsequently, a completed and signed checklist for each mitigation measure indicates that this mitigation measure has been complied with and implemented, and fulfills the City of Oxnard's monitoring requirements with respect to Public Resources Code Section 21081.6.

Env. Issue	Potential Significant Effect	Mitigation Measure	Method of Review Verification	Responsible Agency	Monitoring Milestone	Verification of Compliance		
						Initial	Date	Remarks
Population and Housing	Cumulative buildout scenario in the year 2020 exceeds VCOC demographic projections	1. The City of Oxnard shall submit revised demographic projections to the Ventura Council of Governments during the next round of revisions to the demographic forecasts. The revised projections shall reflect current policy on growth and development within the City of Oxnard.	Submittal of revised demographic projections	Planning and Environmental Services	During the next round of demographic projection submittals to the Ventura Council of Governments			
Traffic and Circulation	Impacts of project generated traffic on local roadways	2. <u>Victoria Avenue/Gonzales Road</u> . Construction of dual southbound left-turn lanes and the conversion of the separate southbound right-turn lane to a through + right-turn lane is recommended to provide LOS C (0.74 ICU) at this location. This mitigation is consistent with the City's planned ultimate geometrics for this intersection.	Review of roadway traffic mitigation plan	Traffic Engineering and Signals	Prior to the issuance of building permits			
		3. <u>Victoria Avenue/Gonzales Road</u> . In addition to the planned improvements, triple left-turn lanes will be needed on the southbound and westbound approaches. With these improvements in place, the intersection would operate at LOS B, 0.68 ICU and LOS C, 0.79 ICU for AM. and P.M. peak hours, respectively.	Review of roadway traffic mitigation plan	Traffic Engineering and Signals	Prior to the issuance of building permits			
		4. <u>Victoria Avenue/Gonzales Road</u> . Additional through lanes are recommended at either the north/southbound or east/west bound directions (8-lane Ventura Road or Gonzales Road) in order to attain an acceptable level of service. Construction of either of the mitigation measures would provide for LOS C at the intersection.	Review of roadway traffic mitigation plan	Traffic Engineering and Signals	Prior to the issuance of building permits			

Env. Issue	Potential Significant Effect	Mitigation Measure	Method of Review Verification	Responsible Agency	Monitoring Milestone	Verification of Compliance		
						Initial	Date	Remarks
		5. When warranted by traffic volumes, a traffic signal shall be installed at the intersection of Avenue A and Gonzales Road. This signal shall be synchronized with the existing signals on Gonzales Road at Patterson Road and the entrance to the parking lot at Oxnard High School, as directed by the City Traffic Engineer, to optimize smooth traffic flow on Gonzales Road. At the time this traffic signal is installed, a second westbound left-turn lane and a northbound right-turn overlap arrow shall be installed at the Gonzales Road/Oxnard High School intersection.	Annual review of traffic volumes by City Traffic Engineer	Traffic Engineering and Signals	Annual Review			
		6. The City of Oxnard shall take the lead role in preparing a multi-jurisdictional deficiency plan at the time traffic counts and the calculated LOS for the remaining studied freeway segments fall below the adopted LOS standard, after the calculation of all statutory exemptions. The deficiency plan shall analyze the cause of the deficiency, identify a list of improvements to remedy the deficiency, and shall include an implementation schedule and a specific funding program for all necessary improvements. Construction of the improvements identified by the deficiency plan will improve the operating condition of the freeway and mitigate the impact of cumulative development on this freeway.	Preparation and implementation of a Multi-Jurisdictional Deficiency Plan	Traffic Engineering and Signals	At the time the LOS on the studied freeway segments falls below the adopted LOS standards			

Env. Issue	Potential Significant Effect	Mitigation Measure	Method of Review Verification	Responsible Agency	Monitoring Milestone	Verification of Compliance		
						Initial	Date	Remarks
Air Quality	Short-term construction related air emissions including fugitive dust	<p>7. The contractor shall prepare and submit a dust control plan at the time that grading permits are requested for each subdivision. The plan shall be reviewed and approved by the City of Oxnard prior to the commencement of grading activities. The dust control plan shall include, but not be limited to, the following measures, which should be implemented by the Contractor.</p> <ul style="list-style-type: none"> • Sufficiently water all active portions of the construction site at least twice daily. • Replace ground cover or apply APCD approved chemical soil stabilizers according to manufacturer's specification to all inactive portions of the construction site (previously graded areas inactive for four days or more). • Apply water twice daily or chemical soil stabilizers, according to manufacturers' specifications, to all unpaved parking or staging areas or unpaved road surfaces. • Suspend all excavating and grading operations when wind speeds exceed 20 mph averaged over one hour. Contact the APCD meteorologist for current information about average wind speeds. • Sufficiently water or securely cover all material transported off site and all fill material transported on site. • Provide employees involved in grading operations with face masks during dry periods to reduce inhalation of dust which may exacerbate health problems of the respiratory tract. • Limit traffic speeds on all unpaved roads to 15 mph or less. • Sweep streets at the end of the day if visible soil material is carried over to adjacent roads. 	Review of plan and field verification	Development and Construction Services	Prior to the issuance of grading permits and during construction phases			

Env. Issue	Potential Significant Effect	Mitigation Measure	Method of Review Verification	Responsible Agency	Monitoring Milestone	Verification of Compliance		
						Initial	Date	Remarks
		8. Contractors shall keep records on the project site demonstrating that equipment engines are maintained in good condition and in proper tune as per manufacturers' specifications to prevent excessive emissions. Such records will be reviewed by the City of Oxnard during grading and construction inspections.	Review of grading and construction plans, and field verification	Development and Construction Services	Prior to construction phases and during construction phases			
		9. The applicant shall have prepared a study to determine the presence, or lack thereof, of asbestos in the building materials utilized to construct the existing structures on the site. The study shall be reviewed and approved by the City of Oxnard. If asbestos-containing building materials are found, the applicant shall follow all requirements, recommendations, policies and procedures described within Rule 62.7 of the VCAPCD Rules and Regulations relative to removing asbestos-containing materials. In addition, prior to engaging in demolition activities, the applicant shall complete all Rule 62.7 procedures to the satisfaction of the VCAPCD and secure the appropriate permit allowing demolition activity.	Review and approval of study	Development and Construction Services	Prior to construction phases and during construction phases			
	Operation-related air emissions	10. Lighting for public streets, parking areas, and recreational areas shall utilize energy-efficient mechanical, computerized, or photo cell switching devices to reduce energy usage.	Review of final development proposals	Development and Construction Services Planning and Environmental Services	Prior to the issuance of building permits			
		11. Use solar or low-emission water heaters to reduce natural gas consumption and emissions.	Review of final development proposals	Development and Construction Services Planning and Environmental Services	Prior to the issuance of building permits			

Env. Issue	Potential Significant Effect	Mitigation Measure	Method of Review Verification	Responsible Agency	Monitoring Milestone	Verification of Compliance		
						Initial	Date	Remarks
		12. Use energy-efficient, automated controls for air conditioners to reduce energy consumption and emissions.	Review of final development proposals	Development and Construction Services Planning and Environmental Services	Prior to the issuance of building permits			
		13. Use automatic lighting on/off controls and energy-efficient lighting to reduce electricity consumption and associated emissions.	Review of final development proposals	Development and Construction Services Planning and Environmental Services	Prior to the issuance of building permits			
		14. Use light-colored roofing materials as opposed to dark roofing materials. These materials would reflect rather than absorb, sunlight and minimize heat gains in buildings. This measure would lessen the overall demand for mechanical air conditioning systems.	Review of final development proposals	Development and Construction Services Planning and Environmental Services	Prior to the issuance of building permits			
		15. Use built-in energy-efficient appliances.	Review of final development proposals	Development and Construction Services Planning and Environmental Services	Prior to the issuance of building permits			
		16. Install special sunlight filtering window coatings or double-paned windows to reduce thermal gain in hot weather and loss in the cold weather; thus, reducing emissions associated with heaters and air conditioners.	Review of final development proposals	Development and Construction Services Land Use Planning and Environmental Enhancement	Prior to the issuance of building permits			

Env. Issue	Potential Significant Effect	Mitigation Measure	Method of Review Verification	Responsible Agency	Monitoring Milestone	Verification of Compliance		
						Initial	Date	Remarks
		17. Restricting the installation of fire places in the proposed homes, unless they are EPA-certified or equivalent. Equivalent devices are considered to be natural gas or a fireplace insert.	Review of final development proposals	Development and Construction Services Planning and Environment Services	Prior to the issuance of building permits			
		18. Individual project developers within the Specific Plan shall develop a Transportation Demand Management (TDM) Plan, or contribute funds to an off-site TDM plan prior to the recordation of each tentative tract map. The contributions shall be calculated based on the amount of emissions that must be reduced on a project-by-project basis, and should be based on the year of completion of each subsequent development proposal.	Submittal and review and Transportation Demand Management Plan or fee receipt from ACPD	Planning and Environmental Services	Prior to the recordation of tract map			
	Degradation of groundwater	19. The golf course shall be designed so that changes in topography and drainage patterns are minimal. Water features (ponds, lakes, etc.) of the golf course are to be located a minimum of 100 feet from the base of the landfill and are to be properly lined to prevent water percolation into surrounding soils.	Review of construction drawings	Development and Construction Services Planning and Environmental Services	Prior to the issuance of building permits			
	Release of landfill gases during construction and operation	20. A Variance to APCD Rule 7417 shall be obtained prior to the temporary shutdown of the landfill gas maintenance system during the connection of wells to new underground headers. All actions related to this activity shall be conducted in accordance with APCD requirements.	Meet with APCD and field verification/inspection	Development and Construction Services APCD	Prior to the issuance of building permits			
	Potential for safety hazard	21. All golf course features (e.g., sand traps, bunkers) which create depressions that may allow landfill gases to accumulate in pockets shall be located off the closed landfill site. Such features shall not occur at a depth greater than 3 feet and signs shall be posted warning of the potential hazards associated with landfill gas accumulation at these locations.	Review of Construction Drawings and field verification	Development and Construction Services Planning and Environmental Services	Prior to the issuance of building permits			

Env. Issue	Potential Significant Effect	Mitigation Measure	Method of Review Verification	Responsible Agency	Monitoring Milestone	Verification of Compliance		
						Initial	Date	Remarks
		22. Concurrent with development of construction-level drawings for the golf course, dedicated paths shall be established on the closed landfill. All motorized vehicle traffic (maintenance vehicles, golf carts, etc.) must stay on the designated paths. At those locations where the paths cross a buried landfill gas collection header, steel casings, additional fill coverage, or some other reinforcing structure shall be placed to protect the lines. All such improvements shall be constructed in accordance with the CEQA process.	Review of construction drawings and field verification	Development and Construction Services Planning and Environmental Services	Prior to the issuance of building permits, and during operation			
Noise	Construction related impacts	23. Contractor shall limit on-site construction activities to between the hours of 7:00 A.M. and 7:00 P.M., and exclude Sundays.	Field verification	Construction Services Program	During construction			
		24. Contractor shall prohibit off-site heavy truck activities in local residential areas.	Field verification	Construction Services Program	During construction			
		25. Contractor shall provide staging areas on site to minimize off-site transportation of heavy construction equipment. Locate these areas to maximize the distance between activity and residential areas. At a minimum, the staging areas shall be located a distance of 200 feet from the nearest residential property line. This would reduce noise levels associated with most types of idling construction equipment by roughly 12 dB(A).	Field verification	Construction Services Program	During construction			
		26. Contractor shall ensure that construction equipment is fitted with modern sound-reduction equipment.	Field verification	Construction Services Program	Prior to construction			
		27. When construction operations occur adjacent to occupied residential areas, the contractor shall implement appropriate additional noise reduction measures to the extent practical that include, but are not limited to, changing the location of stationary construction equipment, shutting off idling equipment, notifying adjacent residences in advance of construction work, and installing temporary acoustic barriers around stationary construction noise sources.	Field verification	Construction Services Program	Prior to construction			

Env. Issue	Potential Significant Effect	Mitigation Measure	Method of Review Verification	Responsible Agency	Monitoring Milestone	Verification of Compliance		
						Initial	Date	Remarks
		28. If pile driving activities are required on the project site, prior to completing building plans, conduct a field test program where test piles are driven at several locations on the project site and various noise control measures are tested. Quantitative noise and vibration measurements, together with a subjective assessment of the resulting conditions, shall be recorded. The results of the test program shall be presented to the Planning and Environmental Services Manager. The Planning and Environmental Services Manager shall have the right to require noise control measures at the site, depending on the results of the test program and the City's requirement to protect health and safety within the community.	Field verification	Construction Services Program	Prior to construction			
	Operation related impacts	29. Where any single-family buildings are to be constructed within an exterior noise contour of 60 dB(A) CNEL or greater, an acoustic analysis shall be completed prior to approval of building permits. The acoustical analysis shall show that the building is designed so that interior noise levels resulting from outside sources will be no greater than 45 dB(A) CNEL.	Review of acoustic analysis	Construction Services Program	Prior to construction			
		30. Where any multi-family buildings are to be constructed within an exterior noise contour of 65 dB(A) CNEL or greater, an acoustic analysis shall be completed prior to approval of building permits. The acoustical analysis shall show that the building is designed so that interior noise levels resulting from outside sources will be no greater than 45 dB(A) CNEL.	Review of acoustic analysis	Construction Services Program	Prior to construction			
		31. Where any church or school buildings are to be constructed within an exterior noise contour of 70 dB(A) CNEL or greater, an acoustic analysis shall be completed prior to approval of building permits. The acoustical analysis shall show that the building is designed so that interior noise levels resulting from outside sources will be no greater than 45 dB(A) CNEL.						
Landform and Soils	Seismic ground shaking and ground failure including liquefaction.	32. All structures shall be designed in accordance with the Uniform Building Code (UBC) and applicable City codes to ensure safety in the event of an earthquake.	Review of project design and plans	Development and Construction Services	Prior to the issuance of building permits			

Env. Issue	Potential Significant Effect	Mitigation Measure	Method of Review Verification	Responsible Agency	Monitoring Milestone	Verification of Compliance		
						Initial	Date	Remarks
		33. Prior to the issuance of a grading permit for each tract map, a comprehensive site-specific soils and geotechnical investigation of the development site shall be conducted. At a minimum, this report shall address liquefaction and compressible soil characteristics on site. The report shall identify any necessary construction techniques or other measures needed to minimize the potential for liquefaction and compression of soils on the property that could result in a hazard. The report shall be reviewed and approved by the City of Oxnard Public Works Department.	Review of geotechnical report	Development and Construction Services	Prior to issuance of grading permits			
	Wind and water driven erosion of soils	34. Prior to the issuance of grading permits for each tract, the applicant shall submit a Notice of Intent to the California Regional Water Quality Control Board pursuant to the National Pollutant Discharge Elimination System Permit for site disturbance greater than 5 acres. All recommendations outlined in the general permit shall be adhered to and incorporated into the development as conditions of approval.	Review of all documentation and permits	Development and Construction Services Storm Water Quality Management and Flood Control	Prior to the issuance of grading permits and during construction phase			

Env. Issue	Potential Significant Effect	Mitigation Measure	Method of Review Verification	Responsible Agency	Monitoring Milestone	Verification of Compliance		
						Initial	Date	Remarks
	Disruption to coastal landfill slope and cover material	35. Prior to the commencement of earthwork on the Coastal Landfill, a detailed construction plan shall be prepared in conformance with the Construction Quality Assurance Plan (CQA) review and approval process. The purpose of the CQA program is to provide reasonable assurance that the final cover is constructed in accordance with plans and specifications, to identify and define problems that may occur during construction, and to assist in the correction of these problems. Consistent with this process, the construction plan shall be reviewed and approved by: 1) the CQA engineer and monitor for this landfill, as identified by the Ventura Regional Sanitation District; 2) a representative from the integrated Waste Management Board; and 3) a representative from the Regional Water Quality Control Board. At a minimum, this plan shall limit preparatory earthwork to the top 2 inches of the vegetative soil layer on the landfill to the maximum degree feasible. Any areas which are to have more than 2 inches of topsoil removed shall have final grades checked before and after the activities, and additional soil placed as needed in order to maintain the 1-foot thickness. Where irrigation pipe, drainage pipe, and gas collection system header installation would require excavation into the final cover, provisions shall be developed and approved by the CQA engineer to require that the integrity and thickness of the clay cap and final cover, as a whole, are restored. Specific measures could include placement and compaction of additional final cover around and over piping, and minimization of final cover penetration through placement of fill over the existing cover and trenching into the fill layer. The Plan shall also maintain the existing slopes and overall contours of the landfill in order to prevent ponding of water on the landfill face and to promote adequate drainage.	Review of construction plan	Development and Construction Services Ventura Regional Sanitation District Integrated Waste Management Board Regional Water Quality Control Board	Prior to issuance of grading permits			
		36. Vegetation placed on the closed Coastal Landfill shall include plants with root depths of less than 8 inches. Avoid planting trees and shrubs on the landfill except at those locations where tree wells have been constructed expressly for this purpose, or at locations where additional fill material has been mounded above the existing final cover material. All landscape material proposed for the landfill shall be reviewed and approved by a qualified arborist, and the location of trees or shrubs approved by representatives of the Ventura Regional Sanitation District.	Review of landscape plan and field verification	Development and Construction Services Planning and Environmental Services	Prior to issuance of building permits, and operation phase			

Env. Issue	Potential Significant Effect	Mitigation Measure	Method of Review Verification	Responsible Agency	Monitoring Milestone	Verification of Compliance	
						Initial	Date
Biota	Impact to common and Special-Status bird nests	37. No earlier than 45 days and no later than 20 days prior to the removal of any on-site trees, or upland habitat areas that would occur during the nesting/breeding season of native bird species potentially nesting on the site (typically nests March through August), a field survey shall be conducted by a qualified biologist to determine if active nests of special-status birds, or common bird species protected by the Migratory Bird Treaty Act and/or the California Fish and Game Code, are present in the construction zone or within 300 feet of the construction zone. If construction will occur during the above breeding and nesting season, such surveys will be conducted at bi-weekly intervals during the months of April and May. In the event that an active nest is spotted in the habitats to be removed, or in other habitats within 300 feet of the construction boundaries, the surveys shall be extended to July 1st or until a nest is vacated. If active nests are found within the survey area, clearing and construction within 300 feet shall be postponed until the nest is vacated and juveniles have fledged, as determined by the biologist, and there is no evidence of a second attempt at nesting.	Review of survey	Planning and Environmental Services	Prior to construction		

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	Degradation of riparian resources and impacts associated with construction and grading activities	<p>38. For all grading and construction activities within 300 feet of riparian resources, a qualified biologist shall be retained as a construction monitor to ensure that incidental construction impacts on biological resources are avoided or minimized, and to conduct pre-grading field surveys for special-status plant and wildlife species that may be destroyed as a result of construction and/or site preparation activities. Responsibilities of the construction monitor include the following:</p> <ul style="list-style-type: none"> Attend all pre-grade meetings to ensure that timing/location of construction activities do not conflict with mitigation requirements (e.g., seasonal surveys for plants and wildlife). Review/designate the construction area in the field with the contractor and the City inspector in accordance with the final approved grading plan. Haul roads and access roads should be sited within grading areas to minimize degradation of habitat adjacent to these areas. If activities outside these limits are necessary, they should be evaluated by the biologist to ensure no special-status species or habitat will be affected. Conduct a field review of the staking (to be set by the surveyor) designating the limits of all construction activity. Any construction activity areas immediately adjacent to riparian areas may be flagged or temporarily fenced by the monitor, at his/her discretion. Conduct meetings with the contractor and other key construction personnel describing the importance of restricting work to designated areas. The monitor should also discuss procedures for minimizing harm/harassment of wildlife encountered during construction. Periodically visit the site during construction to coordinate and monitor compliance with the above provisions. 	Review of survey and field verification	Planning and Environmental Services Enhancement	Prior to construction and during construction phase			

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		39. Construction personnel shall be prohibited from entry into areas outside the designated construction area, except for necessary construction related activities, such as surveying. All such construction activities shall be coordinated with the biologist construction monitor.	Field verification	Planning and Environmental Services Development and Construction Services	During construction			
		40. Equipment shall not be operated in areas of ponded or flowing water without approval of the ACOE, CDFG, and/or USFWS. Requests for work in these areas must contain a biological evaluation demonstrating that no sensitive fish, amphibians, and/or reptiles are currently present, or likely to be present, during construction, at the construction site, or along access roads.	Field verification	Planning and Environmental Services Development and Construction Services	During construction.			
		41. Staging/storage areas for construction equipment and materials shall be located outside of areas of ponded or flowing water.	Review of construction plans/Field verification	Planning and Environmental Services Development and Construction Services	Prior to construction and during construction phase			
		42. Any equipment or vehicles driven and/or operated immediately adjacent to the Santa Clara River shall be checked and maintained daily to prevent leaks of materials that, if introduced to water, could be deleterious to aquatic life. No equipment maintenance shall be conducted within the river or within 50 feet of the river.	Field verification	Planning and Environmental Services Development and Construction Services	During construction			
		43. To reduce the impact of runoff associated with construction activities into the adjacent Santa Clara River, Best Management Practices shall be implemented during construction activities to control erosion and sedimentation. When construction timing permits, grading should be conducted during the dry season to minimize the potential of adverse impacts to downstream habitats. Grading during the rainy season shall utilize erosion/siltation control devices which may include, but are not limited to, hay bales, sedimentation rolls, diversion barriers, and sandbags. The use of fertilizers and pesticides shall not be permitted adjacent to the Santa Clara River.	Preparation and review of a Stormwater Pollution Prevention Program/Field verification	Planning and Environmental Services Development and Construction Services	Prior to construction and during construction			

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		44. Standard dust control measures shall be implemented to reduce impacts on nearby plants and wildlife. This includes replacing ground cover in disturbed areas as quickly as possible; water active sites at least twice daily; suspend all excavating and grading operations when wind speeds exceed 25 mph; and restricting traffic speeds on all unpaved roads to 15 mph or less in areas within 200 feet of vegetation.	Review of construction plans and field verification	Planning and Environmental Services Development and Construction Services	Prior to construction and during construction			
		45. Upon completion of construction, the contractor shall be held responsible to restore any haul roads and access roads that are outside of approved grading limits. This restoration shall be done in consultation with the biologist construction monitor.	Field verification	Planning and Environmental Services Development and Construction Services	Post-construction phase			
Public Schools	Impacts of project student generation on local school districts	46. All developers of projects within the Specific Plan Area shall pay all lawfully imposed school impact mitigation fees.	Review of receipt showing payment of fees	Planning and Environmental Services	Prior to the issuance of building permits			
Fire Protection	Construction related impacts	47. During construction, all fire hydrants, permanent all-weather surface roadways, curbs and gutters, shall be in place prior to combustible framing. All combustible framing shall be kept within 150 feet of an acceptable access road serviced with active fire hydrants.	Field verification	Development and Construction Services Fire Protection and Related Emergency Services	During construction			
		48. The Oxnard Fire Department shall be alerted to all temporary road closures or construction-related traffic restrictions to ensure that emergency vehicle access is not constrained in any way by construction activities.	Notification of Fire Department	Development and Construction Services	Prior to construction and during construction			

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Water Resources	Operation related impacts to surface water quality	<p>49. A site-specific Integrated Pest Management Plan (IPM) shall be developed and implemented for the proposed golf course. The IPM shall be developed concurrent with the modifications to the Coastal Landfill Closure Plan. The IPM shall be reviewed and approved by the Ventura County Flood Control District, Stormwater Quality Section, and the City of Oxnard. The IPM shall include the following mandatory strategies:</p> <ul style="list-style-type: none"> • Definition of the roles for all people involved in the pest management system to ensure their understanding and to establish communications between people. • Determine management objectives for each area of the course as a basis for deciding possible methods of control. • Set "action thresholds," which are the point when pest populations or environmental conditions indicate that some action must be taken. No action shall be taken until that point is reached. • Monitor the site and pest populations periodically and consistently to determine when the action threshold is reached and whether the action taken is effective. • Take action that modifies the pest's habitat to reduce the site's carrying capacity, exclude the pest, or otherwise make the site inhospitable to the pest. • Apply appropriate pesticides, with the preferred pesticide the one with the longest dwell time in contact with the pest while presenting the least possible hazard to people, property, and the environment. • Evaluate the results of modifications of the habitat and pesticidal treatment by periodically monitoring the site and its pest populations. • Maintain written records of management objectives, monitoring and data collection, actions taken, and results obtained. 	Review of IPM plan and field verification	<p>Planning and Environmental Services</p> <p>Ventura County Flood Control District</p>	Pre-construction, construction and operation phases			

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		<p>A variety of means are available to achieve the desired objectives of an IPM. The following are suggested approaches for development and implementation of an IPM for turf management. This list is not considered all inclusive, and there is no obligation for the golf course operator to incorporate all of these items into their IPM. This list is intended to be used as a menu from which the course operator can select those strategies which best fit the local conditions and type of course.</p> <ul style="list-style-type: none"> • Select pest-resistant varieties of grass suitable to the site, climate, and use. • Using vegetative filter strips as buffers between treated turf and adjacent sensitive environments. • Establishing a list of pesticides that are prohibited on the site by local regulations and current research data, which rate pesticides in terms of potential toxicity or hazards to wildlife. The use of persistent pesticides (those that are slow to breakdown into harmless products and persist in the environment for a long period of time) should be restricted or prohibited completely. • Using bacterial or biochemical control, such as plant growth regulators. • Using biological controls for pest management, such as nematodes for control of white grubs and pest resistant, endophytic-enhanced grasses. • Increasing mowing heights and reducing the frequency of watering to reduce weeds and fungus; evaluating problem areas and the need for drainage control and/or improvements in the irrigation system; using slow release fertilizers; controlling accumulation of thatch and compacted soil. • Using caning and syringing to reduce stress and the threat of fungus damage in summer. • Using fungicides on a strict schedule that uses computerized monitoring and diagnostic tests to determine the potential for disease; selecting the least invasive but effective fungicidal treatment; rotating fungicides to reduce the buildup of resistance. 						

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		50. The proposed detention ponds shall be designed to retard infiltration of water from the pond into the subsoil and groundwater. This can be accomplished with the use of a liner or other barrier system. The bottom of the pond shall contain soils with high organic content, as well as high levels of fine minerals, in order to facilitate the trapping and breakdown of toxicants. The ponds shall be vegetated with a variety of plant communities, including trees and shrubs above the pond's normal water level, and emergent plants in water up to 1 foot deep, rooted surface plants in water from 1 to 2 feet deep, and rooted submerged plants in water from 1.5 to 6 feet deep. As nutrient uptake is generally higher in emergent plants, highly dense and diverse persistent emergent plants shall be provided. These plants provide frictional resistance in the water, take up nutrients, and bind the sediment to favor retention of nutrients. Persistent emergent species should be selected in consultation with a registered landscape architect according to the local climate and site characteristics.	Review of Construction drawings and field verification	Planning and Environmental Services Development and Construction Services	Prior to issuance of building permits and operation phase			
		51. The Regional Water Quality Control Board shall be consulted prior to modification of the Landfill Closure Plan to evaluate the potential for increased water infiltration into the landfill cells. All measures identified by the Board to minimize increases in water infiltration shall be incorporated into the project design.	Consultation with Regional Water Quality Control Board	Planning and Environmental Services Development and Construction Services	Prior to issuance of building permits			
Sewer Service	Increased wastewater generation	52. At the time when construction-level drawings for the proposed golf course facility are being prepared, the feasibility of connecting golf course rest stops to the sanitary sewer system shall be re-evaluated and discussed with the City of Oxnard Engineering Department in order to reach a solution acceptable to the City.	Review of construction drawings	Planning and Environmental Services Domestic and Industrial Wastewater Discharge and Treatment	Prior to issuance of building permits			

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		53. Prior to the approval of any tract map or site plan for the Specific Plan area, the applicant/developer shall demonstrate that adequate conveyance and treatment capacities exist to convey and treat wastewater generated by that component of the project. This shall be demonstrated by preparing a sewer report identifying proposed land uses and estimated sewage flows in accordance with the methodology outlined in the City's Sewer Master Plan Report. These studies shall be reviewed and approved by representatives of the City of Oxnard Infrastructure and Utilities Division. If adequate collection and treatment are not available, the applicant and the City shall come to a mutual agreement that provides for full mitigation of each individual project's impacts to downstream sewer lines. Mitigation strategies could involve, but are not limited to, storing project-generated sewage until it can be conveyed to downstream lines during non-peak hours, or contribution of additional in-lieu fees by the project applicant to the City of Oxnard to help fund sewer line improvements at downstream problem areas.	Review of tract map and sewer report	Development and Construction Services Domestic and Industrial Wastewater Discharge and Treatment	Prior to recordation of tract map			
Solid Waste Management	Impacts on landfill capacity in the County	54. Prior to Specific Plan approval, a Waste Management Plan shall be prepared by the City of Oxnard. At a minimum, the Waste Management Plan shall address the following: <ul style="list-style-type: none"> • Require that the markets for demolition and construction wastes are identified, and that the demolition and constructions wastes be recycled or re-used to the extent technically and economically feasible. • Require means of ensuring that demolition and construction wastes are recycled or re-used. • Require that recycled content building materials be used during construction to the extent technologically and economically feasible. • Require that at least 50 percent of construction wastes are to be diverted from the solid waste stream. • Require that residential builders provide a cabinet for recyclables in each dwelling unit. • Require that individual commercial/retail projects incorporate in-building storage/collection points for recyclables for every 10,000 square feet of floor space. • Conform to the City's Source Reduction and Recycling Element, and • Is binding on the construction and operation of all future land uses within the Specific Plan site. 	Review of Waste Management Plan and field verification	Planning and Environmental Services Solid Waste Reduction and Disposal	Prior to approval of Specific Plan			

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Cultural Resources	Historic Resources	<p>55. The existing McLoughlin House found near Patterson Road shall be relocated on the site designated for this home on Exhibit 2, Land Use Concept Plan, in the Specific Plan. The reconstruction of this home shall be accomplished in conformance with the following measures:</p> <ul style="list-style-type: none"> • During initial relocation preparation, both the historic archaeologist and architectural historian shall be on site to oversee the activities and to insure that no important or significant elements of the structure and area are lost. • During initial relocation activities, the historic archaeologist shall have the authority to halt any activities that may disturb as yet unidentified subsurface deposits in the area of the house and have the opportunity to evaluate these remains in accordance with CEQA and NEPA Guidelines. • Subsequent to relocation, the proponent shall incorporate elements and setting conducive to the restoration of the property to its basic historic state (e.g., color schemes, set-backs, vegetation, etc.). Such details must be defined and agreed to by the project proponent and City of Oxnard Planning Department prior to relocation. • All renovations shall conform to the Secretary of the Interior Standards for Preservation. • Subsequent to relocation, the historic archaeologist shall be on site and given the authority to oversee any additional vegetation removal and demolition of remaining structures (e.g., the well houses or small board and batten structures). In addition, the archaeologist must be on site to monitor any grading activities conducted in the general vicinity of the historic complex. Should historic remains be uncovered, these must be evaluated for significance in accordance with CEQA and NEPA Guidelines. • Subsequent to any of the above activities, technical reports shall be prepared by the archaeologist and architectural historian to insure adequate recordation of the complex and compliance with the mitigation measures. All documentation resulting from these studies shall be made available to the City of Oxnard, the County of Ventura, and the University of California, Los Angeles, Archaeological Information Center, as required by CEQA. 	Field Inspection	Planning and Environmental Services	Prior to construction			