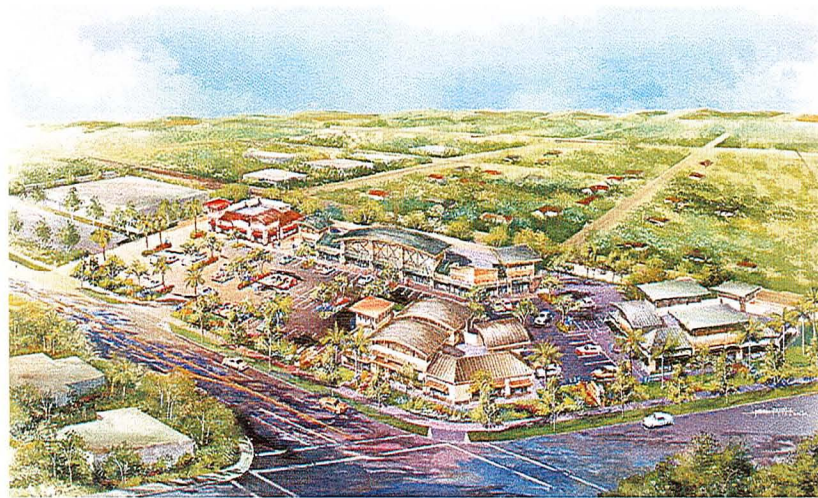




CHANNEL POINTE P L A Z A



SIGN PROGRAM

APPROVED
BY: Lewis J. Waldron
DATE: 5/24/06
CITY OF OXNARD
PLANNING

PZ 04-500-15
revised 9/25/06 LW

Channel Pointe Partners
c/o DoubleHigh Financial
5525 Oakdale Avenue
Suite 200
Woodland Hills, CA 91364
Attn: Aaron Raznick
Phone 818.884.7770
Fax 818.884.6769

araznick@raznickrealty.com

Prepared By:



SIGN METHODS INC.
Electrical Signs And Neon

1749 E. 28th St.
Signal Hill, CA 90755
800.655.4336
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katiepierce@signmethods.com

2701 - 2801 S.
Rose Ave.

Sign Criteria

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Submittal Guidelines and Contacts	2
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Building A	6
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Building C	8
Building C	9
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Center ID Monument Sign	11
Awning Raceway Mount Detail A	12
Awning Raceway Mount Detail B	13
Wall Mount Detail Face Illumination Remote	14
Wall Mount Detail Reverse Illumination Remote	15



**CHANNEL POINTE
PLAZA**

SIGN PROGRAM

Location:

Rose Ave. & Pacific Coast Hwy
Oxnard, CA

Date:

April 6, 2006



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katiepierce@signmethods.com

I N D E X



**CHANNEL POINTE
P L A Z A**

SIGN PROGRAM

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Date:

April 6, 2006



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katiepierce@signmethods.com

Frontage Multiplier SF

Building A

East Front Primary	203'	x 2	406
NorthEast Primary	58'	x 2	116
South side	59'	x .5	29.5

Building B

East Front Primary	95'	x 2	190
South Side	61'	x .5	30.5
North Side	61'	x .5	30.5

Building C

East Front Primary	92'	x 2	184
Northeast Front Primary	52'	x 2	104
South side	55'	x .5	27.5
Northwest parking lot	48'	x .5	24
West parking lot	78'	x .5	39
Southwest parking lot	22'	x .5	11

Building D

Northeast Primary	97'	x 2	194
North Primary	48'	x 2	96
Southeast side	56'	x .5	28
Southwest parking lot	80'	x .5	40

Total square feet 1550
Monument SF 81

Monument uses 2% of overall allowable signage

Multiplier for primary frontage is 1.90
Multiplier for secondary frontage is .48

Site Allowance

A. SUBMITTAL AND GENERAL GUIDELINES

The sign criteria has been established for the purpose of maintaining a continuity and quality throughout the shopping center for the benefit of all Tenants and to help them comply with the regulations for the City of Oxnard.

Conformance will be strictly enforced and any non-conforming signs or signs erected without approval will be removed at tenants expense.

Please submit two sets of plans to the landlord. Plans will be noted Approved, Approved as Noted, or Disapproved. If plans are returned as "Approved as Noted" or "Disapproved" corrected plans must be resubmitted for approval. The City of Oxnard will only accept plans approved by the landlord for permitting.

Plans must be prepared by a reputable state licensed sign contractor. The sign drawings must indicate the following information:

1. A scaled storefront elevation showing the proposed sign design as it relates to the Tenant's premises.
2. Sizes of sign letters, specifications and sections.
3. All materials, colors and finishes.
4. Method and color of illumination.
5. Site plan showing location of premises and sign.

Landlord has the specific right to refuse approval of any sign which does not conform to the specific criteria set forth herein.

It is the tenant's responsibility to obtain final approval and permits from the City of Oxnard.

No sign should be constructed until Landlord approval and permits.

B. DIRECTORY

OWNER/DEVELOPER:

Channel Pointe Partners
c/o DoubleHigh Financial
5525 Oakdale Avenue
Suite 200
Woodland Hills, CA 91364
Attn: Aaron Raznick
Phone 818.884.7770
Fax 818.884.6769

araznick@raznickrealty.com

ARCHITECT:

Richard Brinser Architect Inc.
508 Mesa Drive
Camarillo, CA 93010
Phone 805.484-5970
Fax 805.484.9860

rbrinser@hotmail.com

SIGN CONTRACTOR:

Sign Methods
1749 East 28th Street
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Katie Pierce
Phone 800.655.4336
Fax 562.427.6875

katiepierce@signmethods.com



**CHANNEL POINTE
PLAZA**

SIGN PROGRAM

Location:

Rose Ave. & Pacific Coast Hwy
Oxnard, CA

Date:

April 6, 2006



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**Guidelines, Directory
and Vendors**

DESIGN GUIDELINES

The primary objective is to generate high quality signage that reflects a sophisticated, contemporary environment in harmony with adjacent structures. Individual diversity and creativity is encouraged.

Acceptable treatments include:
Dimensioned geometric shapes
Painted metals
Screens, grids or mesh
Polished metals
Cut or fabricated steel
Neon

ALLOWABLE SIGNS

Internally illuminated individual channel letters with neon or LED. Letters may be face lit, reverse halo, or open face channel. All exposed or skeletal neon must be backed with an opaque coating and all housings and tube supports must be painted out to match the the building background immediately behind and adjacent to the sign.

One primary identification sign shall be allowed per storefront facing a streetfront and/or parking lot.

Also, one undercanopy sign shall be allowed per entrance. Internal or external light treatments will be allowed but is not required.

PLACEMENT - WALL/CANOPY

Signs shall be placed on the wall or canopy adjacent to tenant's leasehold. When signs are on a canopy and a raceway is required, the raceway shall be painted to match the wall beyond it. However, creative treatments for raceways is encouraged and will be considered.

No sign shall exceed 75% of the leasehold.. No sign shall exceed 85% in length of a wall or canopy on which it is placed..

SIZE CALCULATION

Principal frontage faces a street front and allowable area is 1.90 square feet per lineal foot of storefront.

Secondary frontage faces a driveway or another building and allowable area is .48 square feet of signage per lineal foot of storefront.

A tenant may utilize some allowable primary frontage sign area on secondary frontage to enlarge signs facing the parking lot or driveway. However, allowable secondary frontage sign area may not be combined to enlarge primary sign area.

ELECTRICAL REQUIREMENTS

Transformers shall not exceed 30 MA. All penetrations shall be sealed in a watertight condition. Only UL approved components shall be used. No sign company labels shall be permitted on

exposed surfaces except those required by Underwriters Laboratory. All wiring crossovers shall be concealed behind the wall or within a raceway. The tenant shall be responsible for primary termination.

BANNERS

One banner is allowed for a period of thirty (30) days subject to city requirements and permit. Banners are only allowed for new businesses and change of ownership

MISCELLANEOUS NOTES

1. Notwithstanding the maximum allowance there shall be sufficient margins and negative space for visual balance.
2. There shall be no visual means of attachment.
3. All ferrous and non ferrous metals shall be separated.
4. Threaded rod or bolts shall be used to mount letters to stand off building, no clips.
5. Illuminated signage shall be maintained by Tenant and continuously illuminated from dusk to the later of: a) 12Midnight daily, or b) a standard hour established by landlord.
6. Upon lease expiration or termination, tenant is responsible for removing its signage and repairing wall surfaces to the reasonable satisfaction of the landlord.



**CHANNEL POINTE
PLAZA**

SIGN PROGRAM

Location:

Rose Ave. & Pacific Coast Hwy
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April 6, 2006



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Electrical Signs And Neon

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Sign Criteria

Page 3



**CHANNEL POINTE
P L A Z A**

SIGN PROGRAM

Location:

Rose Ave. & Pacific Coast Hwy
Oxnard, CA

Date:

April 6, 2006



SIGN METHODS INC.
Electrical Signs And Neon

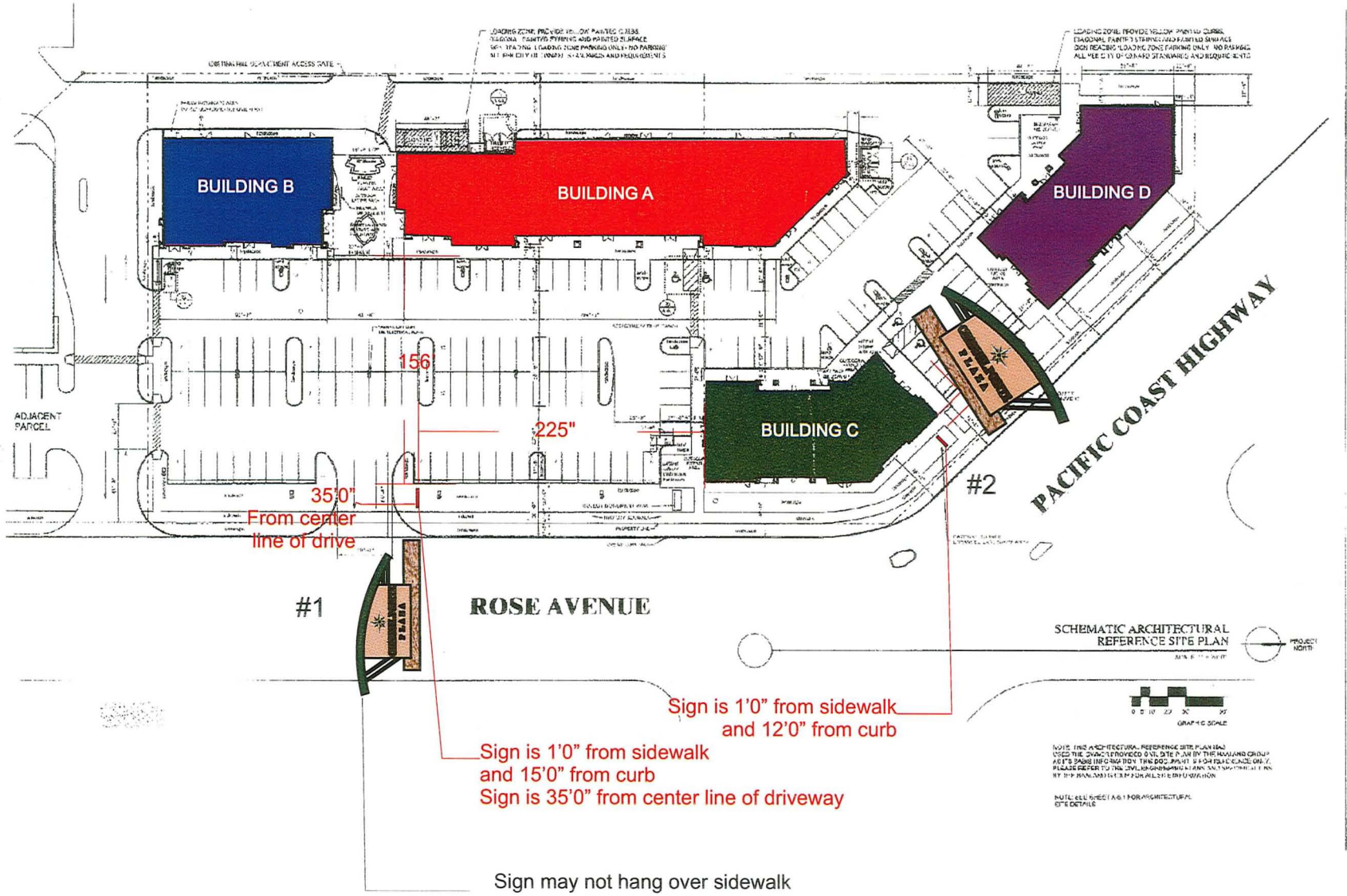
1749 E. 28th St.
Signal Hill, CA 90755
800.655.4336
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katiepierce@signmethods.com

PROHIBITED SIGNS

1. Permanent advertising devices such as attraction boards, posters and flags.
2. Window signs except where specifically approved by the Landlord and the City of Oxnard..
3. Exposed junction boxes, transformers, lamps and conduit.
4. Sign Manufacture's names, stamps or decals except as required by code.
5. Vacuum formed plastic.
6. Paper, cardboard or styrofoam signs.
7. Exposed fastenings except as an intentional statement.
8. Simulated materials (i.e. Wood grained plastic laminates etc.)
9. Animated lights or other moving sign components.
10. Conventional internally illuminated box/can type signs.
11. All other signs prohibited by the City Sign Ordinance.
12. No temporary signs of any nature unless approved by the Landlord and the City of Oxnard.
13. No Tenant shall affix any type of illuminated or painted window signs, plcards, or temporary window signage nor use balloons for any pupose whatsoever unless specific written approval is received by the Landlord.
14. Signs constituting a traffic hazard -or any sign which simulates in size color, lettering or design, any traffic sign or signal, or which makes use of the workds "STOP", "LOOK", "DANGER", or any words, phrases or symbols in such a manner to interfere with, mislead or confuse traffic.
15. Immoral or unlawful advertising or any of an obscene, indecent or immoral nature.
16. No sign shall be installed, relocated or maintained so as to prevent free ingress and egress from any door. No sign shall be attached to a stand or pipe except those as required by code.
17. Signs consisting of any moving, swinging, rotating, flashing, blinking, fluctuating, scintillating or otherwise animated.
18. Off premises signs.
19. Vehicle signs on or affixed to trucks, automobiles, trailers or other vehicles which advertise, identify, or provide direction to a use or activity not related to its lawful making of deliveries of sales or merchandise or rendering of services from such vehicles.

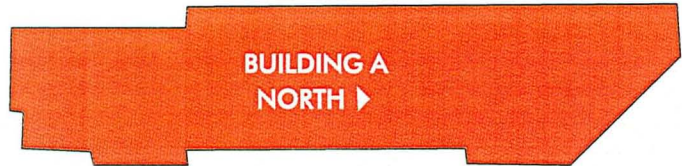
NOTE: Raceways are only allowed on canopy structure where no other wiring crossover opportunity is available.

Prohibited Signs



Channel Pointe Plaza Site Plan

Revised 9/25/06 L. Windsor



- 1 STEEL W/ CORRUGATED BRASS VENEER
- 2 SATELITE PLASTER LIGHT SAND FINISH
- 3 1/2" x 1/2" ALUMINUM SIDING FRONT SYSTEM
- 4 GLAZING - CLEAR
- 5 METAL BRACKETIVE, SOLAR SHADE, IS WIDER COVERED
- 6 BRACKETIVE IS DARK COLORED
- 7 STANDING SEAM METAL ROOF
- 8 BULLDOG SHEET METAL FINISH
- 9 SATELITE MOUNTED LIGHT FIXTURES (EIGHT SOURCE)
- 10 FINISH SIGN, IF APPROPRIATE IS RITE BY SIGNANT OF CHANNEL POINTS PROGRAM
- 11 1/2" x 1/2" SIDING BRASS
- 12 STEREO PLASTER CONTROL LIGHT SIGN VENT
- 13 METAL CORNER STEEL BRASS IS WIDER COVERED

FINISH NOTE LEGEND

- BUILDING A
 - PH-A PRIMARY WALL COLOR - LIGHT TOAST TAN FRAZEE 77426 - STUCCO
 - PH-B ACCENT COLOR - COOL FOREST GREEN BORDO HAZEL - SOLAY SHUR
 - PH-C ACCENT COLOR - COFFEE TH CREAM 7764M FRAZEE - STUCCO BAND ACCENT/CORNER
 - PH-D METAL ROOF / SHOREROOF COLOR - KIMM FOREST GREEN
 - SH-A SPLIT FACE VENEER - ANGRLES BLOCK CHAMPAGNE
 - GI CLEAR GLAZING



**CHANNEL POINTE
PLAZA**

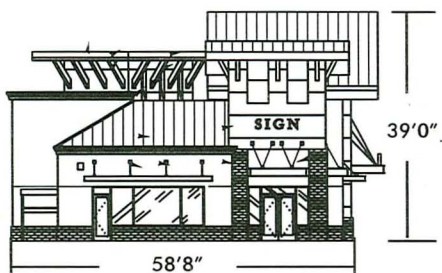
SIGN PROGRAM

Location:

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Oxnard, CA

Date:

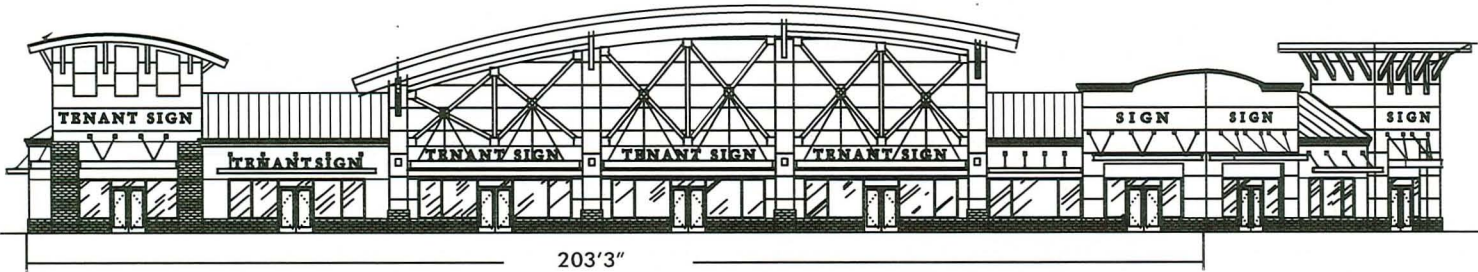
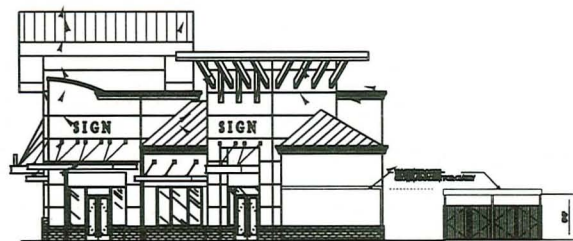
April 6, 2006



BUILDING A
SOUTH ELEVATION (SIDE)
SECONDARY FRONTAGE



BUILDING A
NORTHEAST ELEVATION
PRIMARY FRONTAGE



BUILDING A
EAST ELEVATION (FRONT)
PRIMARY FRONTAGE



SIGN METHODS INC.
Electrical Signs And Neon

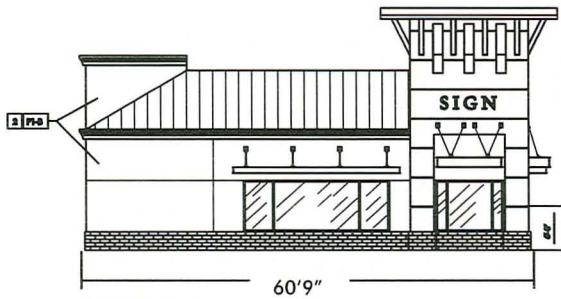
1749 E. 28th St.
Signal Hill, CA 90755
800.655.4336
fax 562.427.6875
katiepierce@signmethods.com

BUILDING A

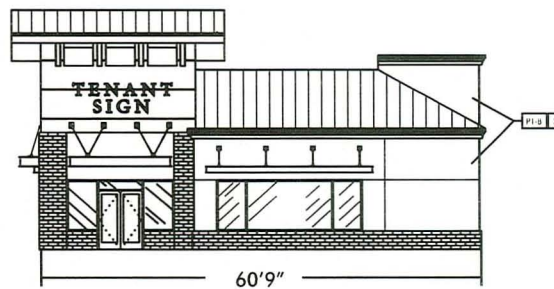


FINISH NOTE LEGEND

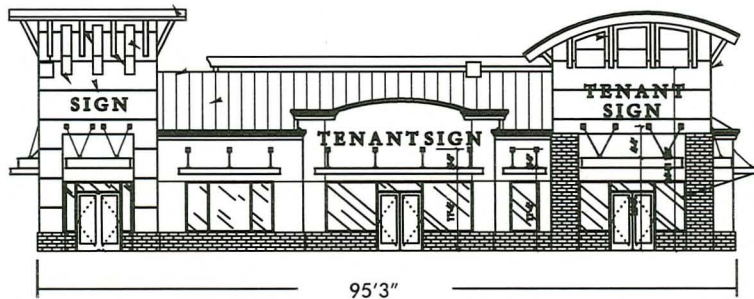
- P1-B** PRIMARY WALL COLOR - CORINTHIAN 7730W FRAZEE - STUCCO
- P2-B** ACCENT COLOR - ROSE PUEBLO 7854M FRAZEE - SOLAR SHADE
- P3-B** ACCENT COLOR - MAYAN SUN 7823M FRAZEE-STUCCO BAND ACCENT/CORNICE
- P4-B** METAL ROOF / STOREFRONT COLOR - KYNAR REDWOOD (BARN RED)
- SF-B** SPLIT FACE VENEER - ANGELES BLOCK SIENNA BROWN
- G1** CLEAR GLAZING



BUILDING B
SOUTH ELEVATION
SECONDARY FRONTAGE



BUILDING B
NORTH ELEVATION
SECONDARY FRONTAGE



BUILDING B
EAST ELEVATION
PRIMARY FRONTAGE



**CHANNEL POINTE
PLAZA**

SIGN PROGRAM

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Date:

April 6, 2006

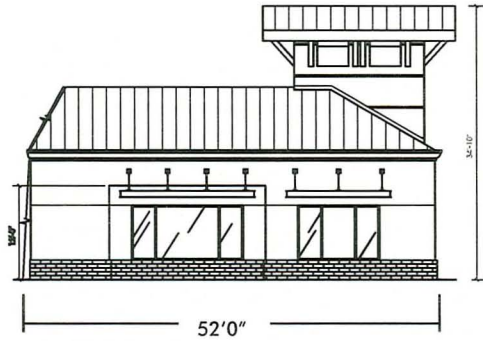


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BUILDING B



BUILDING C
NORTHEAST ELEVATION
 PRIMARY FRONTAGE

FINISH NOTE LEGEND

BUILDING C	}	P1-C	PRIMARY WALL COLOR - IVORY 7800W FRAZEE - STUCCO
		P2-C	ACCENT COLOR -COFFEE N CREAM 7764M FRAZEE -SOLAR SHADE
		P3-C	ACCENT COLOR -HIGHLAND BUFF 7763M FRAZEE -STUCCO BAND ACCENT/CORNICE
		P4-C	METAL ROOF / STOREFRONT COLOR - KYNAR SANDSTONE (TAUPE)
		SF-C	SPLIT FACE VENEER - ANGELES BLOCK OAK
		G1	CLEAR GLAZING



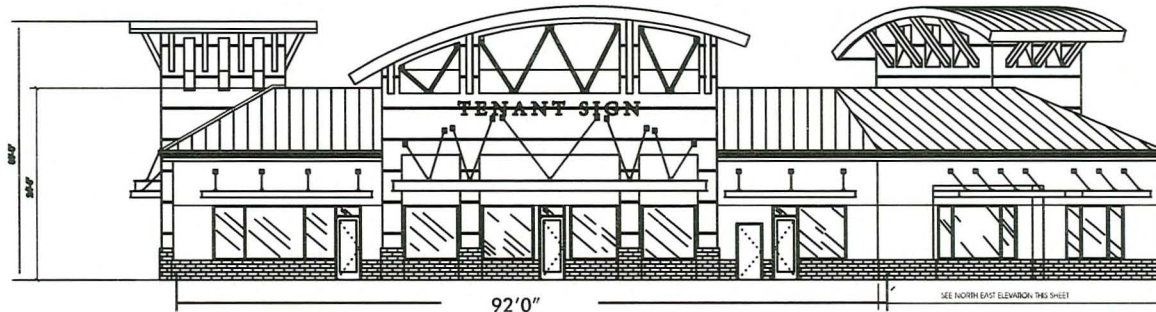
**CHANNEL POINTE
 PLAZA**

SIGN PROGRAM

Location: _____

Date: _____

April 6, 2006



BUILDING C
EAST ELEVATION
 PRIMARY FRONTAGE



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 Electrical Signs And Neon

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 Signal Hill, CA 90755
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 fax 562.427.6875

katiepierce@signmethods.com

BUILDING C



FINISH NOTE LEGEND

P1-C	PRIMARY WALL COLOR - IVORY 7800W FRAZEE - STUCCO
P2-C	ACCENT COLOR - COFFEE N CREAM 7764M FRAZEE - SOLAR SHADE
P3-C	ACCENT COLOR - HIGHLAND BUFF 7763M FRAZEE - STUCCO BAND ACCENT/CORNICE
P4-C	METAL ROOF / STOREFRONT COLOR - KYNAR SANDSTONE (TAUPE)
SF-C	SPLIT FACE VENEER - ANGELES BLOCK OAK
G1	CLEAR GLAZING



**CHANNEL POINTE
PLAZA**

SIGN PROGRAM

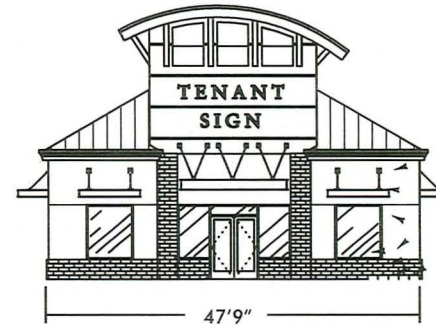
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Date: _____

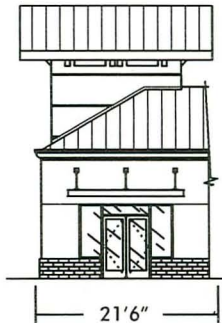
April 6, 2006



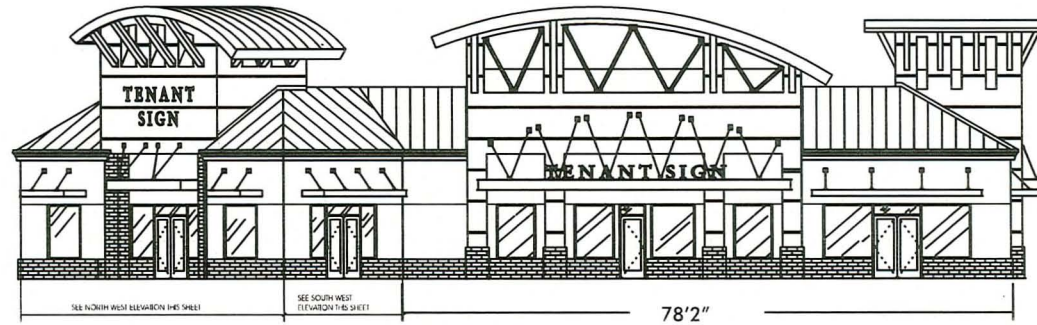
BUILDING C
SOUTH ELEVATION
SECONDARY FRONTAGE



BUILDING C
NORTHWEST ELEVATION
SECONDARY FRONTAGE



BUILDING C
SOUTHWEST ELEVATION
SECONDARY FRONTAGE



BUILDING C
WEST ELEVATION
SECONDARY FRONTAGE



SIGN METHODS INC.
Electrical Signs And Neon

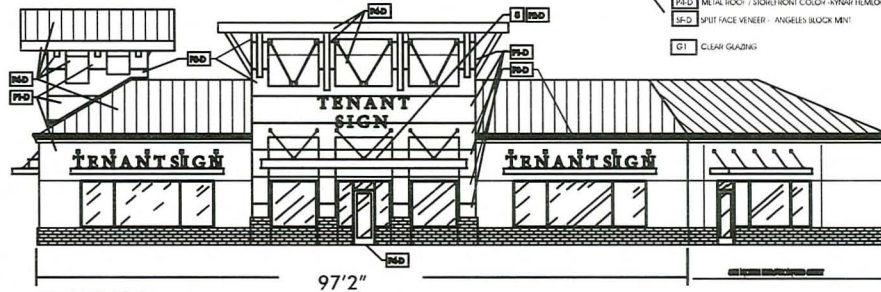
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Signal Hill, CA 90755
800.655.4336
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katiepierce@signmethods.com

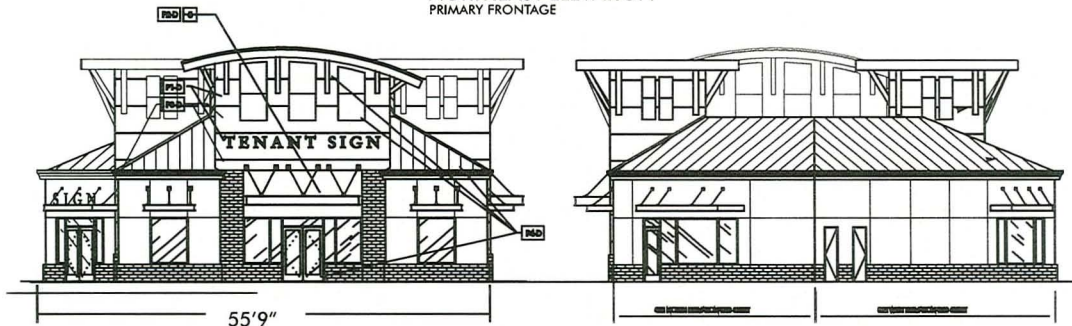
BUILDING C



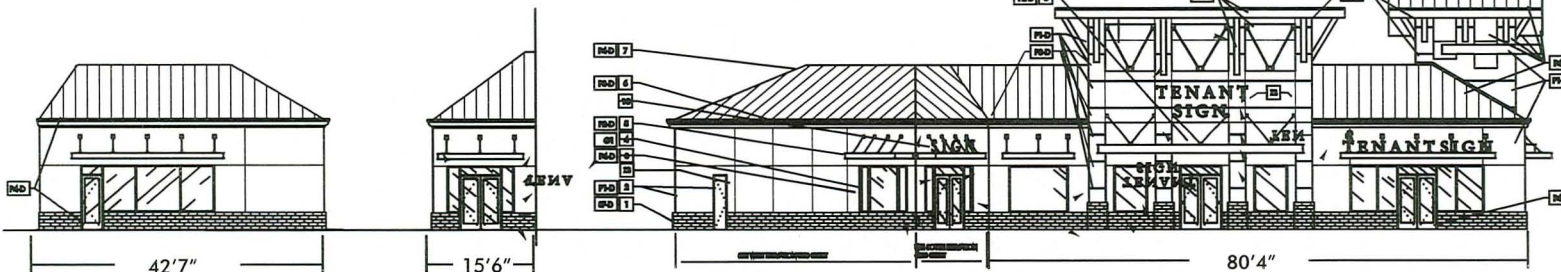
- FINISH NOTES
- FD-0 PRIMARY WALL COLOR - LIGHT TUFFZ 7711 W/FRAZEE - S/RECLY
 - FD-0 ACCENT COLOR - GREEN WHARF BURGIA - 6004F SHADE
 - FD-3 ACCENT COLOR - HOME Y PLAT 7272W FRAYE - S/BUCCO BANI ACCI NICODARREI
 - FD-3 METAL ROOF / SIGNAGE HOUSING - HYNAR HILMOCK GREEN 554GL GRILLE
 - SE-3 SPLIT FACE VENEER - ANGELES BLOCK MNT
 - C1 CLEAR GLAZING



BUILDING D
NORTHEAST ELEVATION
PRIMARY FRONTAGE



BUILDING D
SOUTHEAST ELEVATION
SECONDARY FRONTAGE



BUILDING D
NORTH ELEVATION
PRIMARY FRONTAGE

BUILDING D
SOUTH ELEVATION
SECONDARY FRONTAGE

BUILDING D
SOUTHWEST ELEVATION
SECONDARY FRONTAGE



**CHANNEL POINTE
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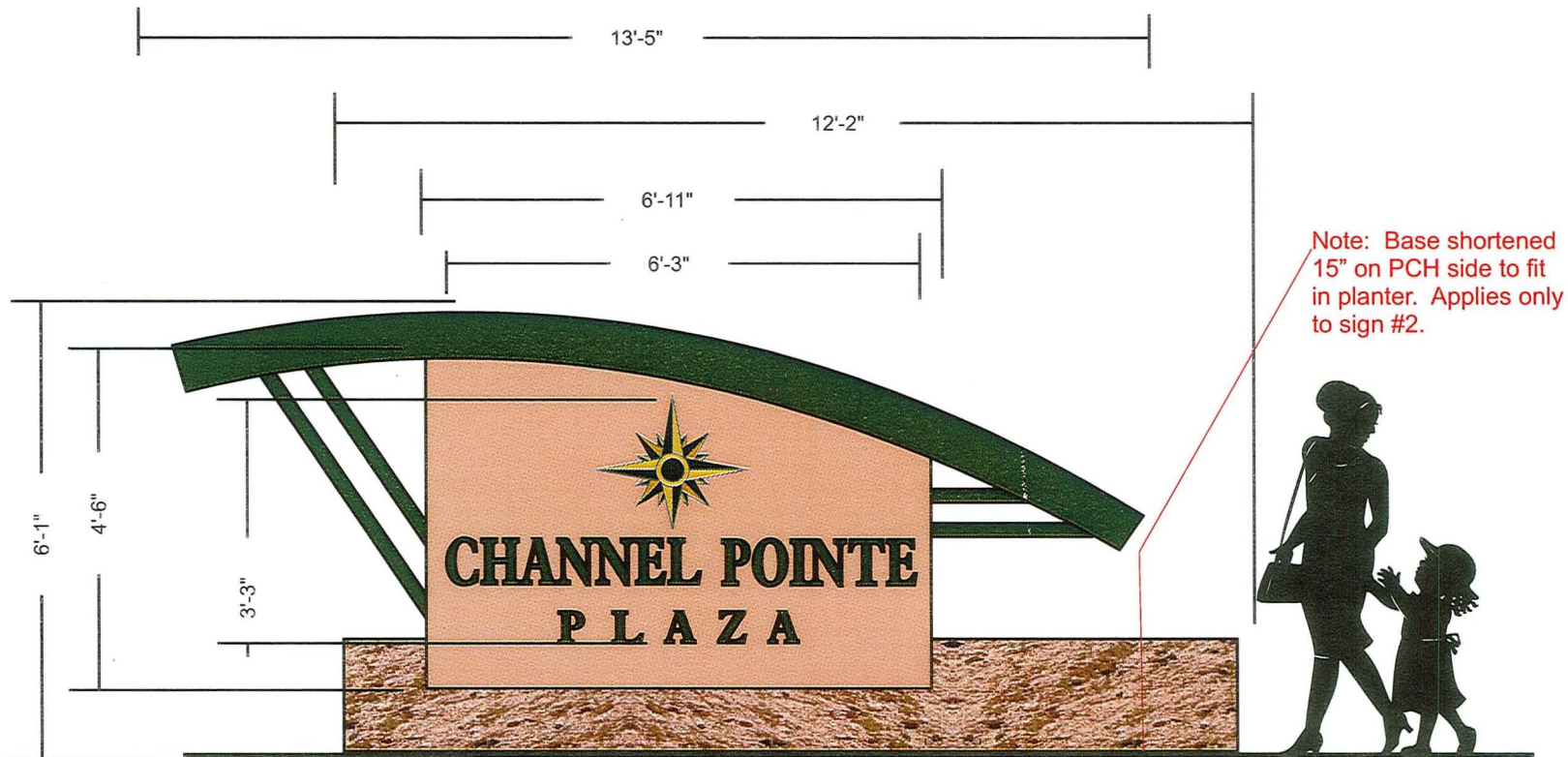
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BUILDING C

Page 10



**Externally illuminated monument sign
(TWO DOUBLE FACE SIGNS REQD.)**

Sign to be fabricated of 2" aluminum frame with .090 faces.
 Copy to be 1/2" Flat-cut-out sintra applied to face.
 Provide a minimum of two external 250 watt light fixtures per sign.
 Sign company to include engineering, foundation and support structure.

1. Roof and Roof Braces- Match Roof and Roof Brace color of building A: Color P-4A Kynar Hunter Green
2. Monument Sign Face- Match wall color of building A: Color P-1A Frazee 7742W Light Toast
3. Sign Base- Match Split Face masonry veneer type and color of building A- Color Champagne by Angeles Block

APPROVED
BY: <u>L. Winkler</u>
DATE: <u>9/25/08</u>
CITY OF OXNARD PLANNING

Revised



**CHANNEL POINTE
PLAZA**

SIGN PROGRAM

Location: _____

Date: _____

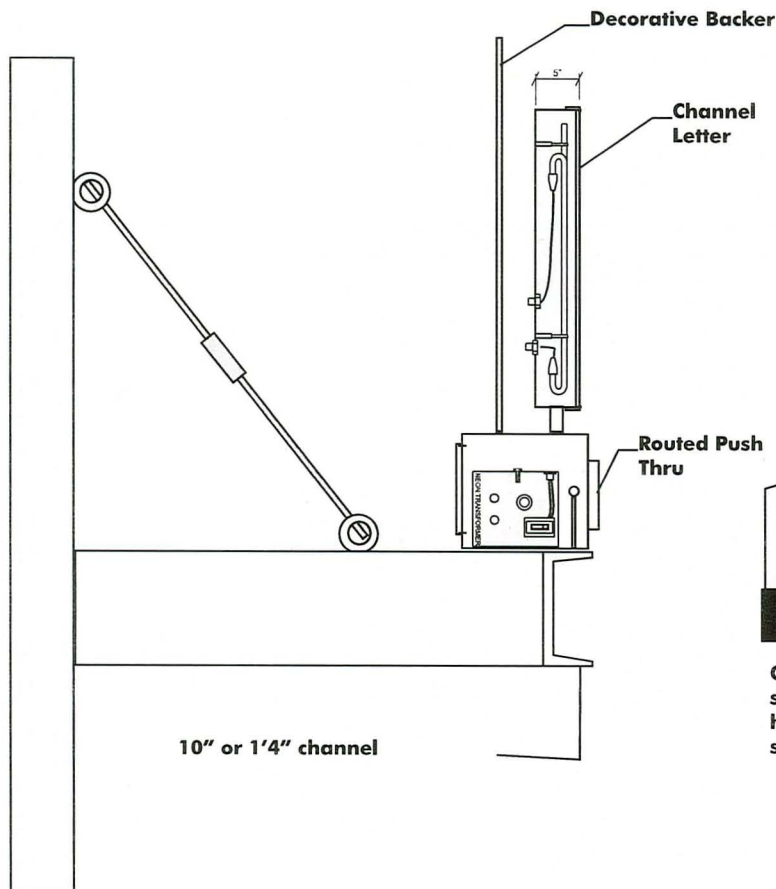
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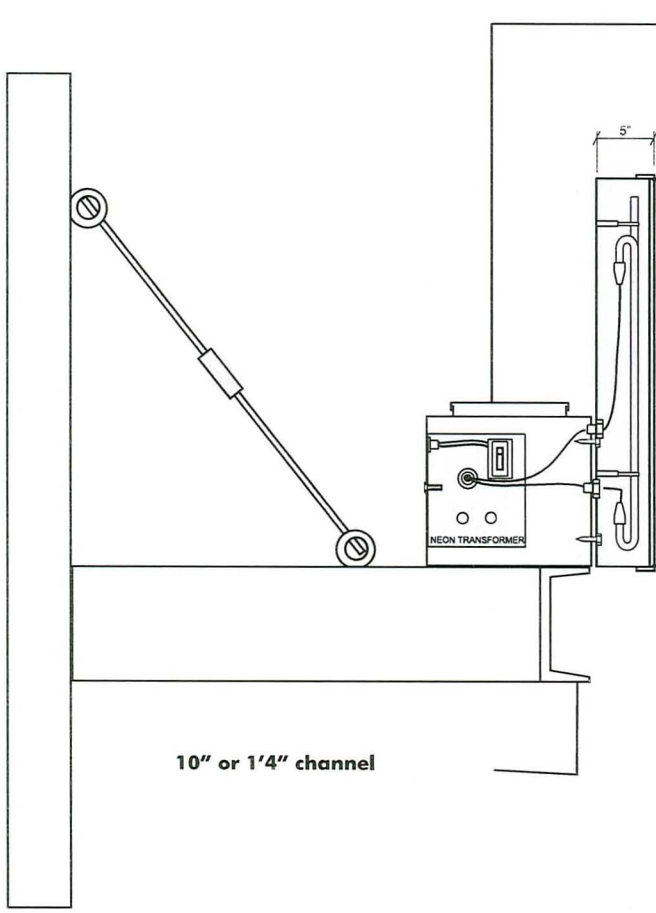
10" or 1'4" channel

TENANT SIGN
SECONDARY COPY

Creative uses of raceway's are encouraged to incorporate secondary copy and utilizing a background above for halo illumination or distinctive design. These uses are subject to city and landlord approvals.

STANDARD RACEWAY CONSTRUCTION ON CANOPY WITH BACKER PANEL

DETAIL



Raceway to be painted to match wall beyond when mounted on top of canopy in order to vanish.

- Building A - Light Tan Frazee #7742
- Building B - Corinthian Frazee #7730
- Building C - Ivory Frazee #7800
- Building D - Light Topaz #7731

10" or 1'4" channel

STANDARD RACEWAY CONSTRUCTION ON CANOPY



**CHANNEL POINTE
PLAZA**

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Date: _____

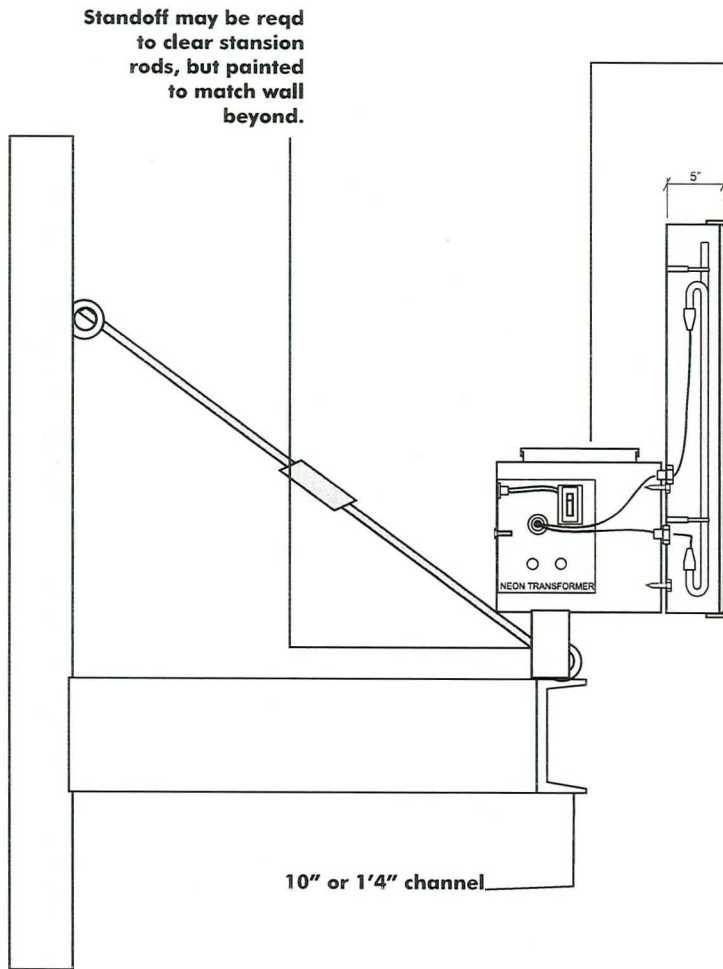
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1749 E. 28th St.
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800.655.4336
fax 562.427.6875
katiepierce@signmethods.com

DETAIL



Standoff may be reqd
to clear stansion
rods, but painted
to match wall
beyond.

Raceway to be painted
to match wall beyond
when mounted on top of
canopy in order to vanish.

- Building A - Light Tan Frazee #7742
- Building B - Corinthian Frazee #7730
- Building C - Ivory Frazee #7800
- Building D - Light Topaz #7731

10" or 1'4" channel

STANDARD RACEWAY CONSTRUCTION ON CANOPY



**CHANNEL POINTE
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DETAIL



**CHANNEL POINTE
PLAZA**

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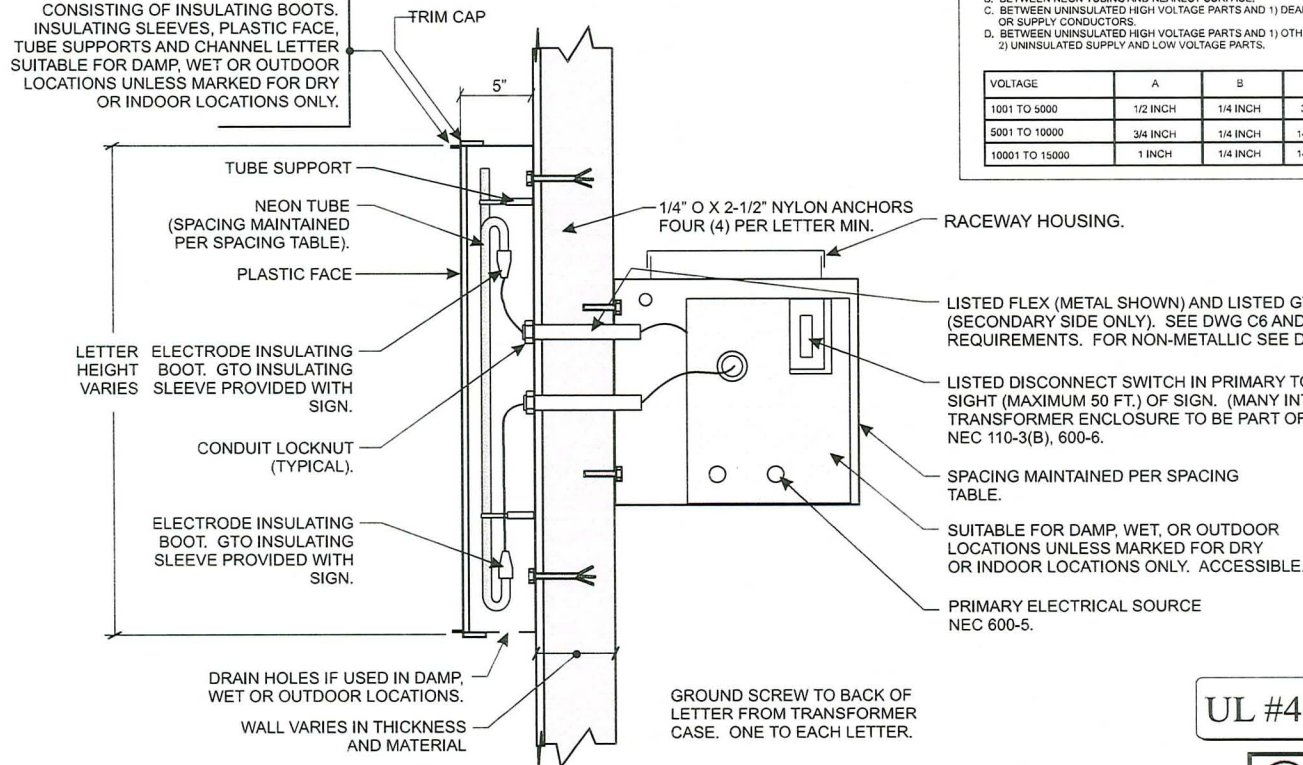
800.655.4336
fax 562.427.6875

katiepierce@signmethods.com

DETAIL

Page 15

LISTED SIGN SECTION NEC 600-3, CONSISTING OF INSULATING BOOTS, INSULATING SLEEVES, PLASTIC FACE, TUBE SUPPORTS AND CHANNEL LETTER SUITABLE FOR DAMP, WET OR OUTDOOR LOCATIONS UNLESS MARKED FOR DRY OR INDOOR LOCATIONS ONLY.



SPACING TABLE:

A. BETWEEN INSULATED HIGH VOLTAGE WIRING AND 1) PRIMARY WING AND 2) DEAD METAL WHERE DEAD METAL PARALLEL S THE HIGH VOLTAGE WIRING FOR MORE THAN 1" LENGTH.
 B. BETWEEN NEON TUBING AND NEAREST SURFACE.
 C. BETWEEN UNINSULATED HIGH VOLTAGE PARTS AND 1) DEAD METAL AND 2) INSULATED HIGH VOLTAGE OR SUPPLY CONDUCTORS.
 D. BETWEEN UNINSULATED HIGH VOLTAGE PARTS AND 1) OTHER INSULATED HIGH VOLTAGE PARTS AND 2) UNINSULATED SUPPLY AND LOW VOLTAGE PARTS.

VOLTAGE	A	B	C	D
1001 TO 5000	1/2 INCH	1/4 INCH	3/4 INCH	1 INCH
5001 TO 10000	3/4 INCH	1/4 INCH	1-1/8 INCH	1-1/2 INCH
10001 TO 15000	1 INCH	1/4 INCH	1-1/2 INCH	2 INCH

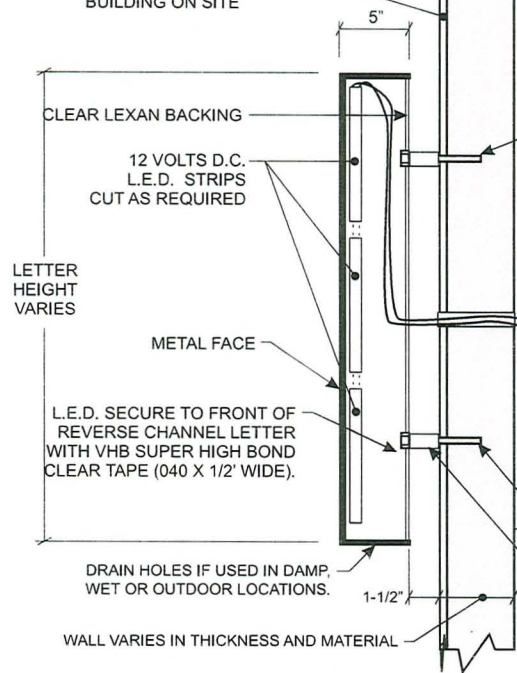
NEON & CHANNEL LETTER INSTALLATION & WIRING DETAIL



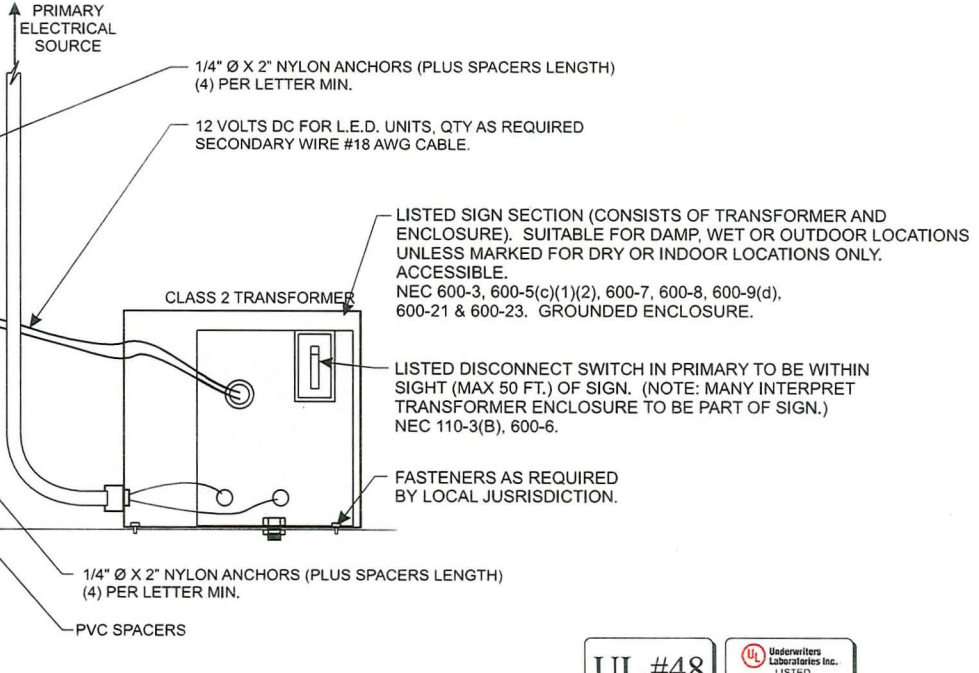
U.S. & P.R. - ALL SIGNS WILL BE (U.L.) LISTED (U.L.) 2161 COMPLIANT & CARRY (U.L.) LABELS CANADA - ALL SIGNS WILL BE CSA COMPLIANT

SEAL BUILDING PENETRATION(S) TO COMPLY WITH APPLICABLE BUILDING CODE REQUIREMENTS.

WALL MATERIAL DETERMINED ON SITE DURING INSTALLATION
 FINISHED SURFACE DEPENDS ON STRUCTURE OF EXISTING BUILDING ON SITE



THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRIC CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.

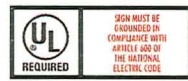


SEAL BUILDING PENETRATION(S) TO COMPLY WITH APPLICABLE BUILDING CODE REQUIREMENTS.

- ▶ LISTING MARKS: LISTING MARK SIGN SECTION LABEL BE ON EACH LETTER AND TRANSFORMER ENCLOSURE.
- ▶ THE FIRST BLANK SPACE IDENTIFIES THE NUMBER OF EACH SIGN SECTION.
- ▶ THE SECOND BLANK SPACE INDICATES THE TOTAL NUMBER OF SIGN SECTIONS.

L.E.D. REVERSE CHANNEL LETTER INSTALLATION & WIRING DETAIL

NOT TO SCALE



U.S. & P.R. - ALL SIGNS WILL BE (U.L.) LISTED (U.L.) 2161 COMPLIANT & CARRY (U.L.) LABELS
 CANADA - ALL SIGNS WILL BE CSA COMPLIANT

NOTE: 12 VOLTS SYSTEM DOES NOT CARRY (REQUIRE) A GREEN GROUND WIRE.



CHANNEL POINTE PLAZA

SIGN PROGRAM

Location: _____

Date: _____

April 6, 2006



SIGN METHODS INC.
 Electrical Signs And Neon

1749 E. 28th St.
 Signal Hill, CA 90755
 800.655.4336
 fax 562.427.6875

katiepiecer@signmethods.com

DETAIL

TENANT SIGN CRITERIA

Channel Pointe Shopping Center
1611-1691 Channel Islands Blvd.

Oxnard, CA 93033

PZ 03-500-10

A. Introduction

The intent of this sign criteria is to provide the guidelines necessary to achieve a visually coordinated, balanced and appealing signage environment at the above mentioned project, and in accordance with the City of Oxnard and its adopted sign requirements, and the Master Design Guidelines for the tract.

Adherence to this sign criteria shall be rigorously enforced. Any non-conforming signs shall be removed by the tenant or his sign contractor at their expense, upon demand by the owner.

The owner and architect shall review exceptions to these standards, which would also require review and approval by the City of Oxnard Planning & Environmental Services Division. Accordingly, the Owner, through the architect, will retain full right of approval of any sign used in the center.

Precedent of Requirement

If there is any conflict between the Tenant Sign Program, the Master Sign Guidelines, the City of Oxnard Municipal Code and all applicable building codes, the most narrowly tailored and most restrictive code will prevail. Tenant may propose to modify the Tenant Sign Criteria only if the proposed modification is still in compliance with all of the other codes.

Measurement of sign areas

In applying the sign area standards of this article, the periphery of the sign shall be established by circumscribing either a rectangle or circle which encompasses the words of the sign. In the case of wall signs, the background area shall be included in the sign area measurements only if it is of a distinctive color, material, texture, or shape, the primary purpose of which is to enhance the advertising value of the sign, as determined by the Planning & Environmental Services Division.

B. GENERAL OWNER/TENANT REQUIREMENTS

1. Each tenant shall submit to the owner for written approval, three (3) copies of the detailed shop drawings of his proposed sign, in full color identifying proposed signage areas and letter heights, indicating conformance with the sign criteria here in outline form. Send to:

Lot 5 (1611 through 1671 Channel Islands Blvd):
Sansome Pacific Properties Inc.:
Attention: David McDowell
500 Washington Street, Suite 700
San Francisco, California 94111

Lots 1-3 (2701-2801 South Rose Avenue):
See Channel Pointe Plaza Sign Program (by SMI)

2. The tenant shall submit a sign drawing approved by the owner to the City of Oxnard, Planning Department, and obtain all necessary permits for the sign prior to the start of any sign construction.

3. The tenant shall pay for all signs, their installation (including final connection, transformers and all other labor and materials) and maintenance.

4. The tenant shall be responsible for fulfillment of all requirements of the sign criteria.

5. Allowable sign types: Tenants shall provide internally or externally illuminated signs utilizing creativity and individuality see details and drawings. Tenants may use one of the following types:

- A. Internally illuminated channel letter signs with optional logo box. (Sign A)
- B. Reversed channel letters or halo illuminated letters with neon illum. (Sign B)
- C. Open-Faced Neon illuminated Channel letter sign with optional logo box.
- D. Mixed media 3-dimensional signs using images, icons, etc. Mixed media signs are signs using two or more fabrication or illumination methods.
- E. Neon accents signs. Neon accents must be approved by the landlord and City Planning & Environmental Services Manager.

6. It is the responsibility of the tenant's sign contractor to verify all conduit and transformer locations and service prior to fabrication for illuminated signs. Exterior illuminated signs and all small tenant signs shall be under the control of the landlord and be fed from the house panel on a Building/Site signage circuit(s).

7. The location of all signs shall be per the accompanying design criteria.

C. GENERAL SIGN SPECIFICATIONS

1. No exposed crossovers, conduits, conductors, transformers, etc., shall be permitted. No exposed raceways except where necessary for mounting the sign on a canopy or when it forms a creative element of the sign. The use of exposed raceways are subject to approval by the Owner/Landlord and Planning Manager.

2. No projections above or below the "net sign area" (section D.7.) will be permitted (except as otherwise approved in writing by owner and City of Oxnard). Refer to the attached exterior elevation for approved sign locations.

3. Typical **Illumination** Criteria:

- (a) The following materials/technologies are permitted based on integration of the sign concept and execution with the total storefront design.
 - (1) Internally illuminated channel letters standard with plastic faces with internal neon or fluorescent illumination.
(Sign Type A)
 - (2) Reverse channel or halo illuminated letters with neon.
(Sign Type B)
 - (3) Internally illuminated channel letters standard with open faces with internal neon or fluorescent illumination.
(Sign Type C)
- (b) Internal illumination to be 30 milli-amp for neon or 800 milli-amp for fluorescent installed and labeled in accordance with the National Board of Fire Underwriters Specifications.
- (c) All illumination shall be fixed, steady and directed so as to prevent glare on the street or walkway. There shall be not blinking, twinkling, scintillation, cyclic vibration, motion, or appearance of motion in any sign.

4. All signs and their installation must comply with all local building and if electric, bear a U.L. label placed in an inconspicuous location.

5. For purposes of store identification and hours of business, tenant will be permitted to place upon each entrance to its demised premises not more than 144 square inches of decal application lettering not to exceed 2 inches in height. The number and letter typeface shall be subject to owner's approval. Placement shall conform to Item D.7.b below.

D. GENERAL SIGN AREA REQUIREMENTS

1. End Cap Retail Tenants

End Cap space #1611 and #1671 shall be entitled to display a logo box in addition to the signage defined below. A logo box shall not exceed the maximum 3' in any one direction and contain only a bona-fide company logo being a stylized characteristic symbol for sustained identification of the tenant. Any use of a logo box must have prior written approval from the City of Oxnard.

1611: Maximum Letter Height: 24" one line text, or 14" per line, separated by a maximum of 6" between lines, if two line text. (See attachment) plus one logo box on the East elevation.

1671: Maximum Letter Height: 24" one line text only plus one logo box on the East elevation.

2. In-Line Retail Tenants

Maximum Letter Height: 24" one line text or 14" per line if two line text separated by not more than a 6" space between lines. (See attachment)

3. Temporary Signage:

Temporary window signs may not be displayed for more than 29 consecutive days, and may not exceed more than 20% of window area.

4. Menu Boards

Menu Boards for Drive Thru uses are exempt from sign area calculations provided that they are not visible from a public street and are less than 28 s.f. in area.

5. Neon/illuminated window signs:

- a. One neon "Open" sign with a maximum of 300 square inches is permitted per tenant.
- b. One light box centered in storefront window maximum 3'6" in any one direction, maximum 12.25 square feet..
- c. Window signs are located inside the tenant space and are included in the sign area calculation for each tenant.

6. Address Numerals:

Minimum numeral height is eight inches (8") per fire code, installed by Landlord.

7. Storefront graphics:

- a. Horizontal window graphics may be located above mullion or sill, whichever is at +2'-6" above finish floor or higher. Graphics may not exceed 4" in height.
- b. Store Hours graphics: cut vinyl letters shall be located as follows: 3" above push-pull bar, right justified 6" from strike edge of door.

8. Maximum allowable signage per Tenant or whatever lesser amount is approved by the City of Oxnard:

Signage Calculations: Linear frontage (lf) X Multiplier/Code = Sq. Ft. of signage

1611 – 1671 Channel Islands Blvd

Street Frontage 152.5 (lf) X 2 = 305.5 sq. ft. Gross signage
 $\frac{-50.0}{255.5}$ Less Monument Sign
 255.5 Allowable South Elevation

Multiplier/Space 255.5/152.5 = 1.675

End Cap Frontage #1611 71.66 (lf) X .5 = 35.82 Must be used on West elevation
 End Cap Frontage #1671 73.00 (lf) X .5 = 36.50 Must be used on East elevation
327.82 Total Allowable Signage

Tenant (South Elevation)	LF	Multiplier	Sign Area	Logo	Total S.F.
#1611 South Elevation	22.66	1.675	37.95 sf		
Logo West Elevation	71.66	.05		35.82 sf	73.77
#1621 South Elevation	21.37	1.675	35.79 sf		35.79
#1631 South Elevation	18.33	1.675	30.70 sf		30.70
#1641 South Elevation	20.00	1.675	33.50 sf		33.50
#1651 South Elevation	23.00	1.675	38.52 sf		
#1661 South Elevation	16.54	1.675	27.70 sf		66.22
#1671 South Elevation	30.66	1.675	51.35 sf		
Logo East Elevation	<u>73.00</u>	<u>.05</u>		36.50	<u>87.85</u>
TOTAL	152.5		255.51	72.50	327.83

E. GROUND SIGN IDENTIFICATION

(Note: Ground sign also referred to as Monument sign)

1. Ground Signage Limitations:

Each tenant will be allowed to install one panel on each of the two faces of the approved ground sign per the attached "Monument Sign" exhibit. A tenant leasing multiple suite addresses in the center may (in the landlord's sole discretion, and otherwise subject to all other terms of the lease) be permitted to have two panels on each of the two faces of the monument sign. Approved text shall not encroach into a 1" offset from the reveal or edge that surrounds the tenant sign area. Maximum lettering area of 38" wide x 10" high (See attached plan for location). All tenant signs shall have raised white enamel finished metal letters (1/4 inch thick) that are individually cut and applied.

F. PROHIBITED SIGNS

1. Signs constituting a Traffic Hazard:

No person shall install or maintain or cause to be installed or maintained any sign which simulates or imitates in size, or color, lettering, or design any traffic sign or signal, or which makes use of the words, "STOP", "LOOK", "DANGER." Or use any other words, phrases, symbols, or characters in such a manner to interfere with, mislead or confuse traffic.

2. Immoral or Unlawful Advertising:

It shall be unlawful for any person to exhibit, post or display or cause to be exhibited, posted or displayed upon any sign, anything of an obscene, indecent, or immoral nature or unlawful activity.

3. Signs on Doors, Windows or Fire Escapes:

No window signs will be permitted on the windows. No sign shall be installed, relocated, or maintained to as to prevent free ingress to or egress from any door. No sign of any kind shall be attached to a stand pipe except those signs as required by code or ordinance.

4. Animated Audible, or Moving Signs:

Signs consisting of any moving, swinging, rotating, flashing, blinking, scintillating, fluctuating or otherwise animated light is prohibited

5. Vehicle Signs:

Signs on or affixed to trucks, automobiles, trailers or other vehicles which advertise, identify, or provide direction to a use or activity not related to its lawful making of deliveries or sales of merchandise or rendering of services from such vehicles, is prohibited.

6. Light Bulb Strings and Exposed Tubing:

External displays, other than temporary decorative holiday lighting, which consists of unshielded light bulbs, and open exposed neon or gaseous light tubing, are prohibited on all tenant shops. Temporary holiday lighting shall be allowed from 11/15 to 1/15 each year and shall be reviewed and approved by the shopping center for conformity to that season's uniform holiday decoration theme.

7. Banners, Sandwich Boards & Balloons Used for Advertising Purposes:

None allowed

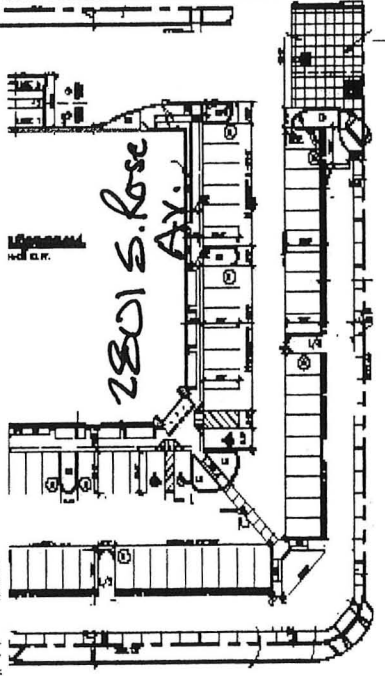
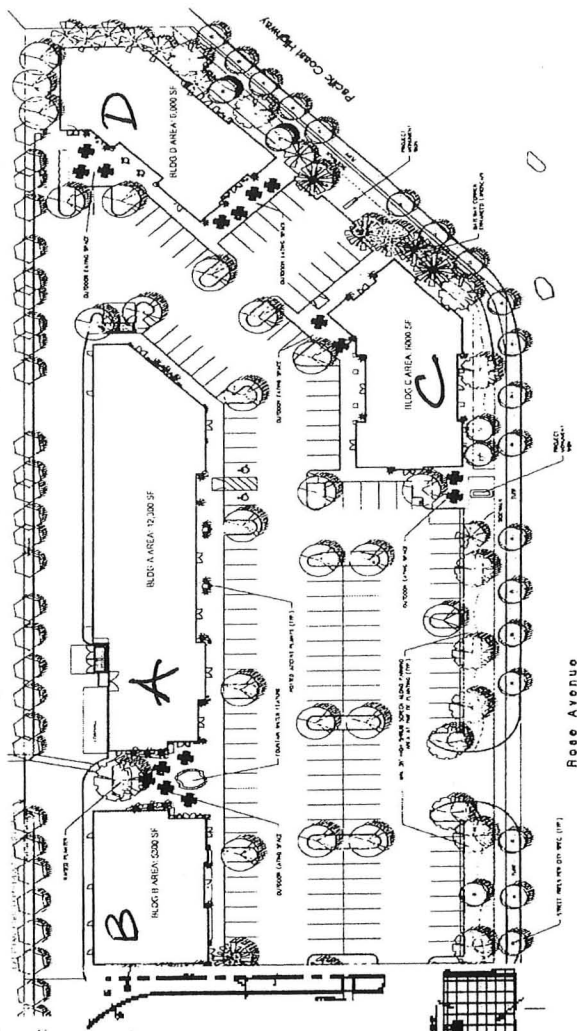
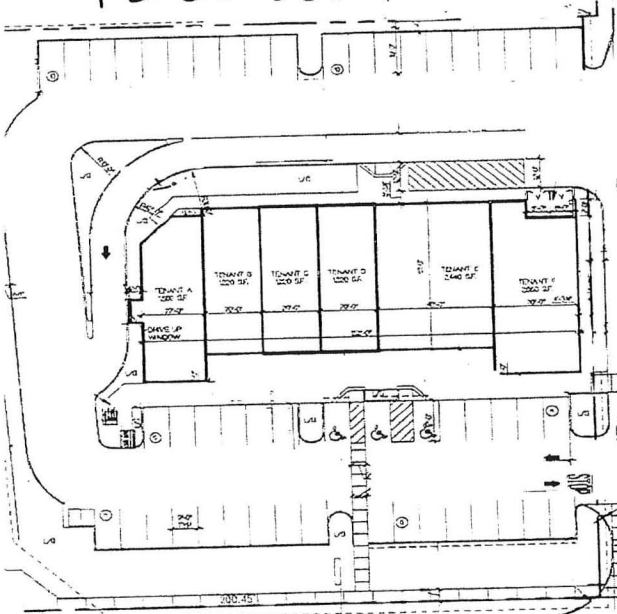
8. Internally Illuminated Can Signs:

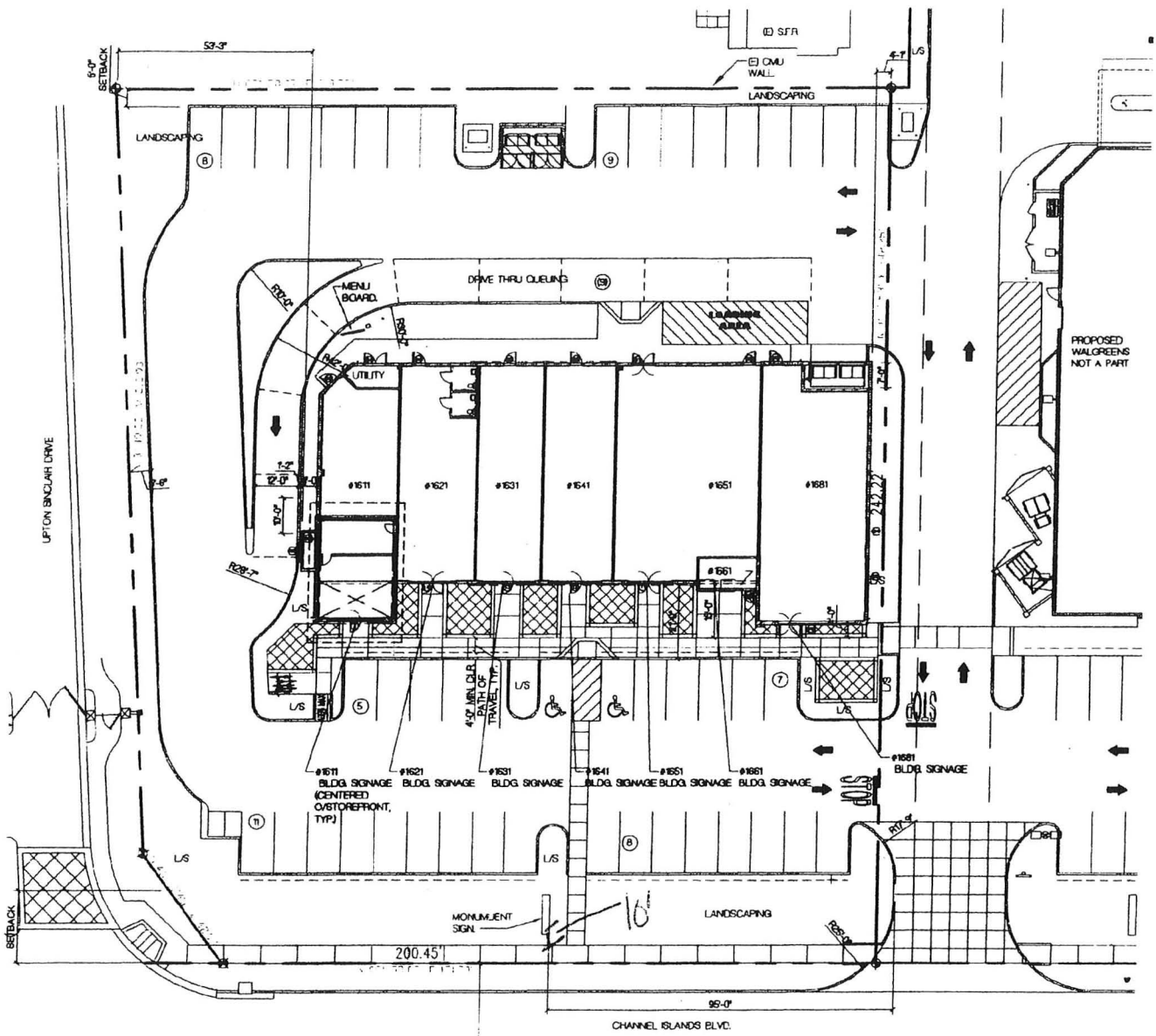
No internally illuminated can signs are allowed, except as otherwise permitted in this sign program for logos type signs.

NORTH ↑

PZ 04-500-15

PZ 03-500-10





SITE PLAN
1611-1691 CHANNEL ISLANDS BLVD, OXNARD, CA

1 SITE PLAN
T = 20'-0"



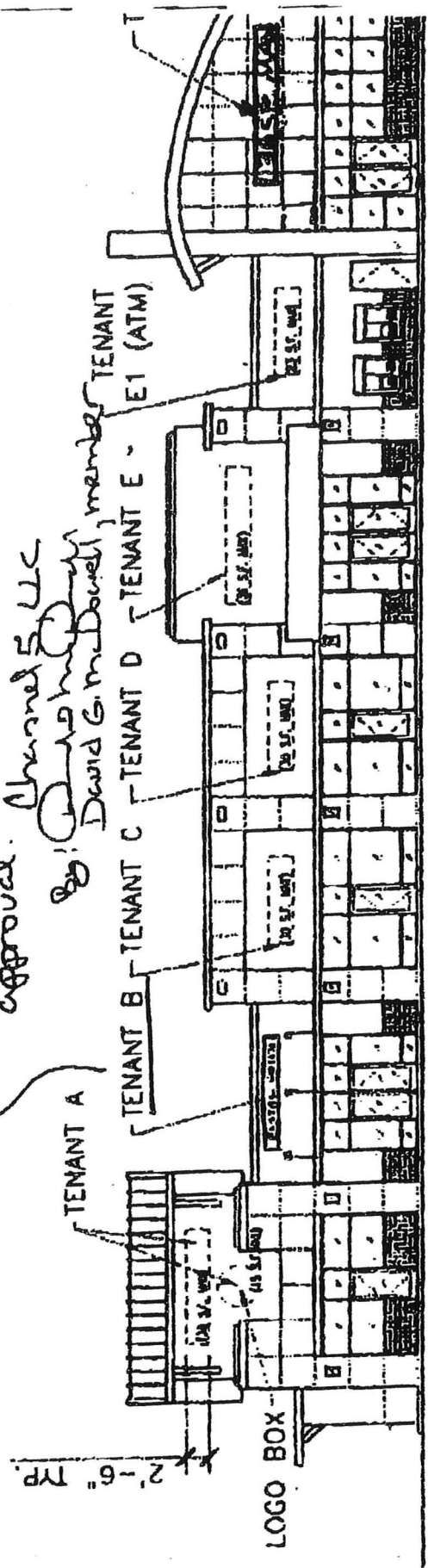
6/30/05

6-11-05
7/20/05

BUILDING SIGN LOCATIONS

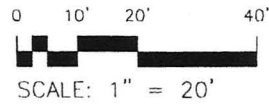
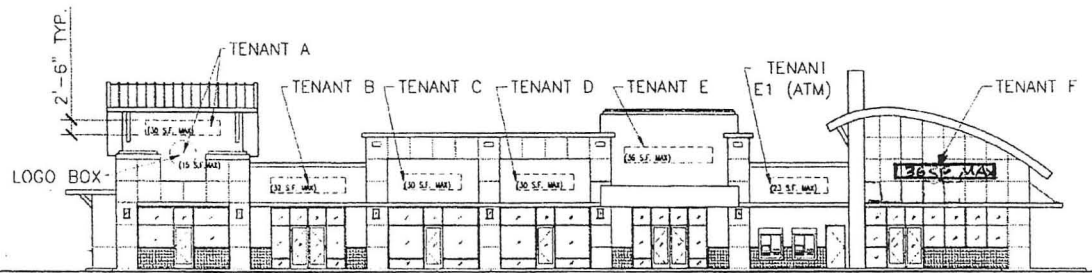
Relocation approved
Subject to City of Exton's
approval.

By: *David G. McDowell*
David G. McDowell, member
Channel 5, LLC



SCALE: 1" = 20'

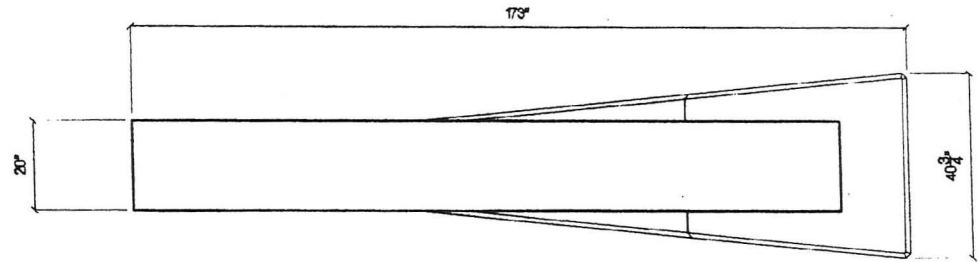
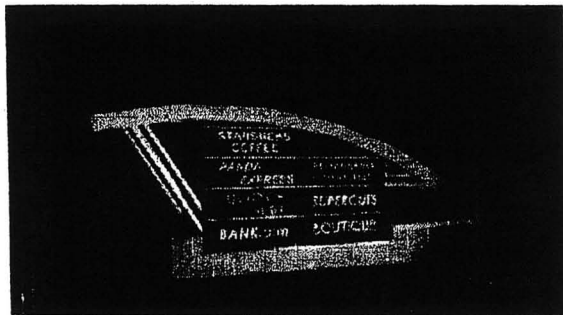
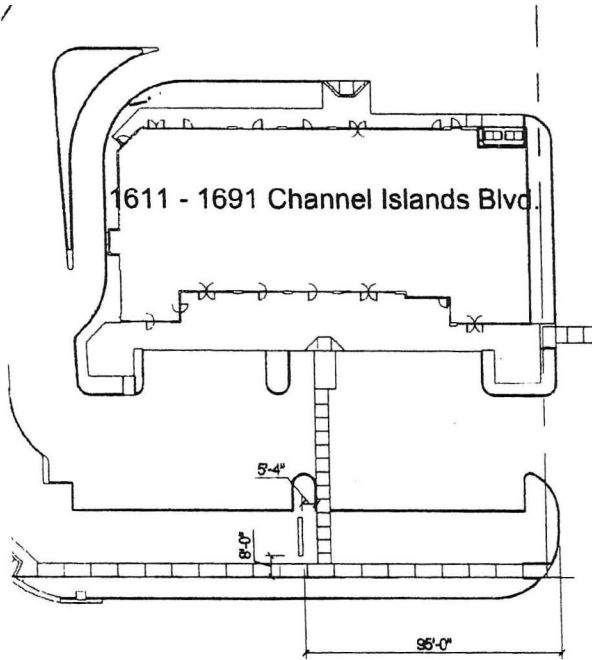
BUILDING SIGN LOCATIONS



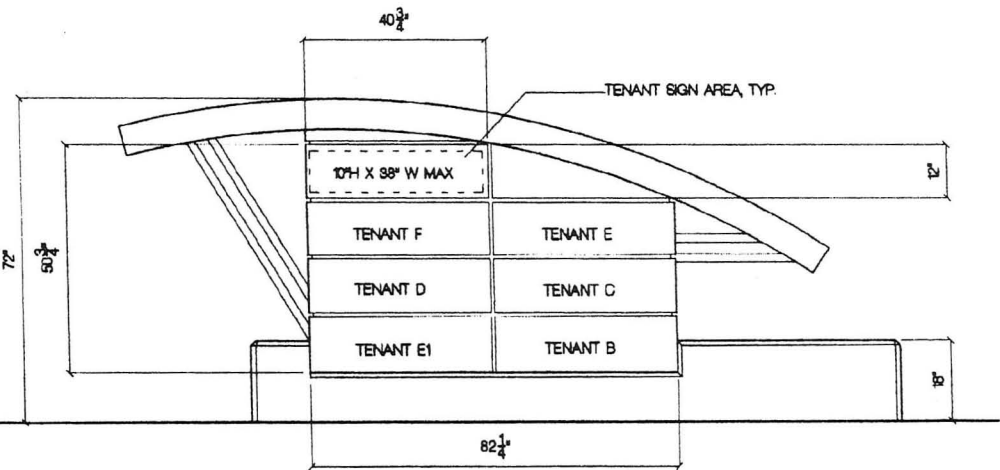
South (Front) Elevation

Paul Polier + Michael David

156 West Alamar Ave. • Suite C • Santa Barbara, CA 93105
fax (805) 898-9683 telephone (805) 682-8804



TOP VIEW



FRONT VIEW

STATISTICS

MAXIMUM ALLOWABLE HEIGHT: 8'-0" @ min 35' FROM CORNER. MUST BE LOCATED MIN. 15' AWAY FROM WALGREENS MONUMENT SIGN.
 MAXIMUM ALLOWED SIGN AREA 50 s.f.

PROVIDED SIGN AREA FOR EACH TENANT: 12" H X ~~40 3/4" W~~ **38" WIDE**
 PROVIDED TOTAL SIGN AREA ON EACH SIDE 25 S.F.

Paul Poirier + Michael David

156 West Alvarado Ave. - Suite C - Santa Barbara, CA 93105
 Fax (805) 896-9581 telephone (805) 642-8854

MONUMENT SIGN



MAXIMUM HEIGHT OF COPY IN ONE LINE - 24"

IN-LINE TENANT SIGNS - 1/4" = 1'-0"

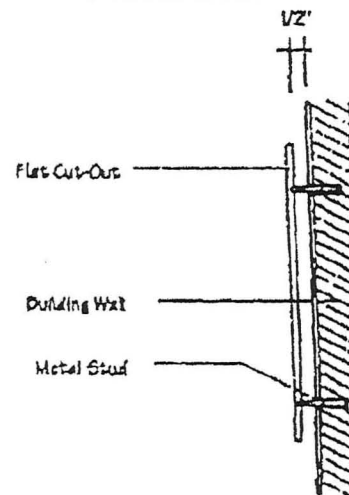


MAXIMUM HEIGHT OF COPY IN TWO LINES - 14"

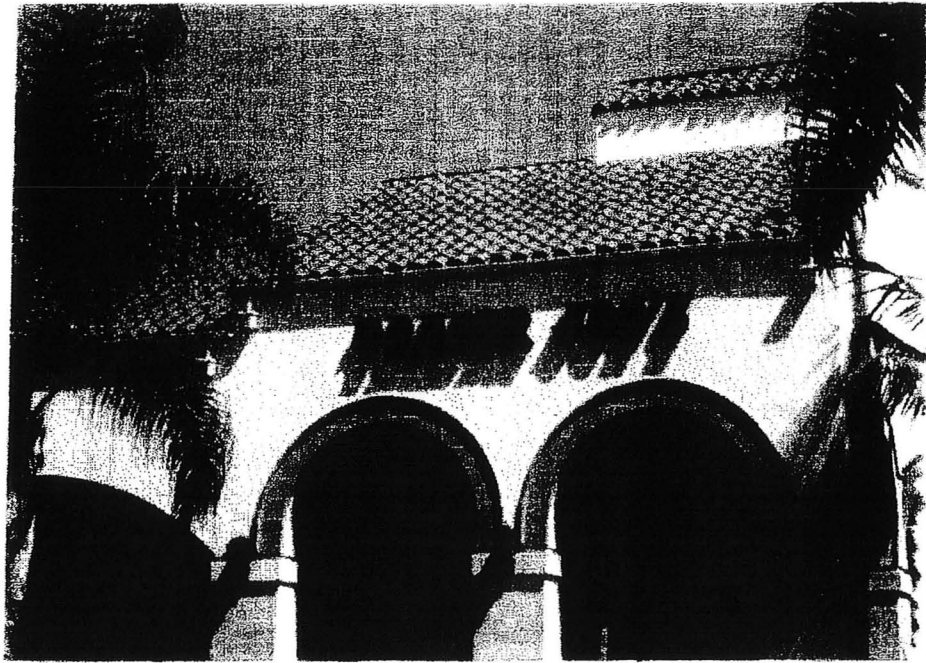
3005 8"

ADDRESS NUMERALS 3/4" = 1'-0"

1/4" ALUMINUM PLATE, ROUTED AND POWDER COATED TO MATCH (COLOR AS PER FINISH SCHEDULE ATTACHED). NUMERALS TO BE STUD-MOUNTED 1/2" OFF THE WALL.



FLAT CUT-OUT LETTERS MOUNTING DETAIL N.T.S.



Internally Illuminated Channel Letters SIGN A

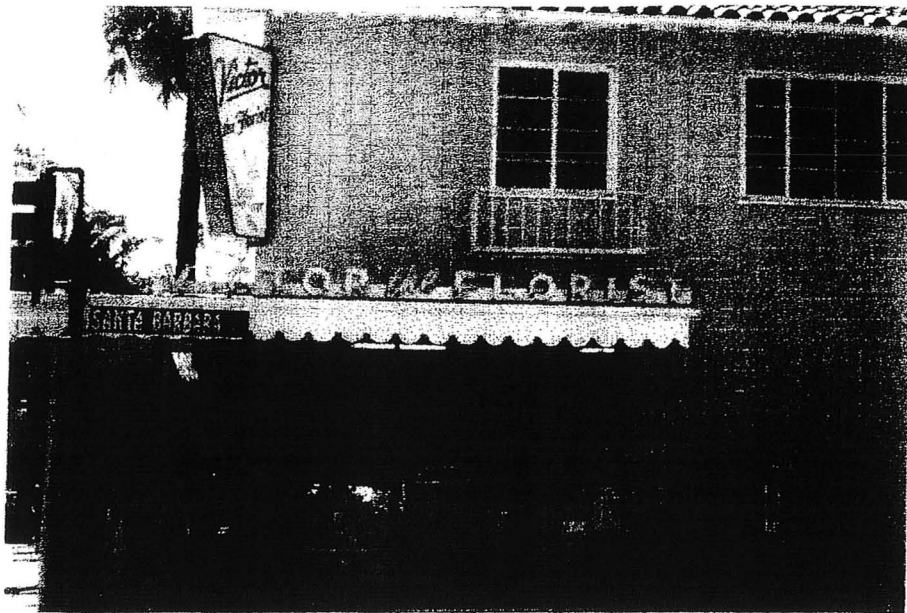
1



Reverse Lit Channel Letter SIGN B

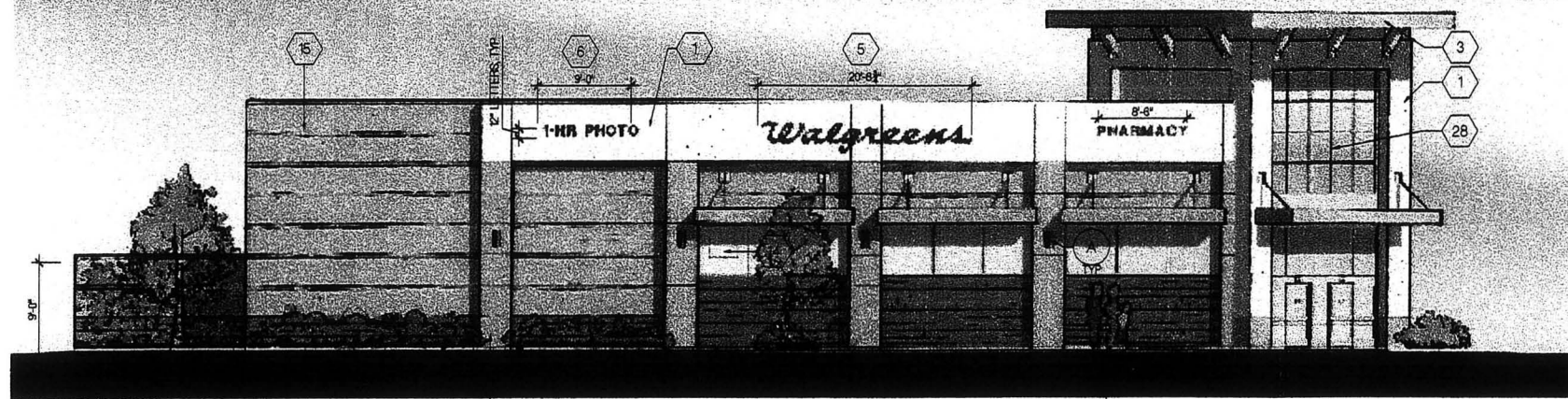
2

Paul Poirier + Michael David
ARCHITECTS

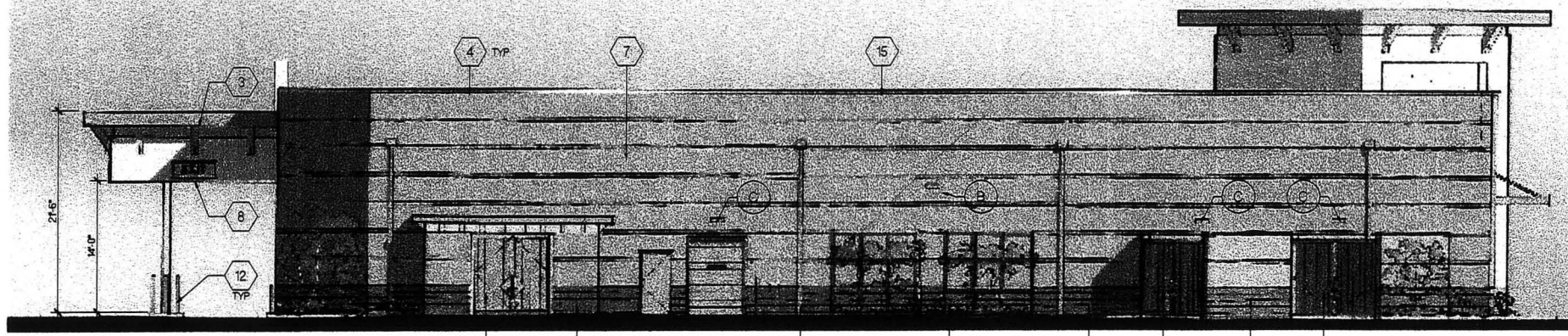


Front Channel Neon

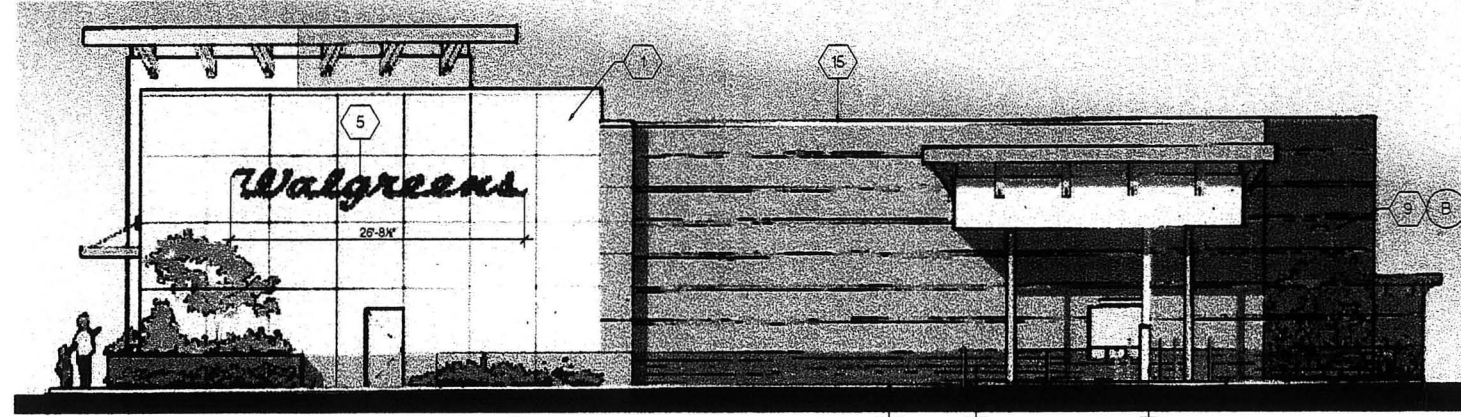
SIGN C



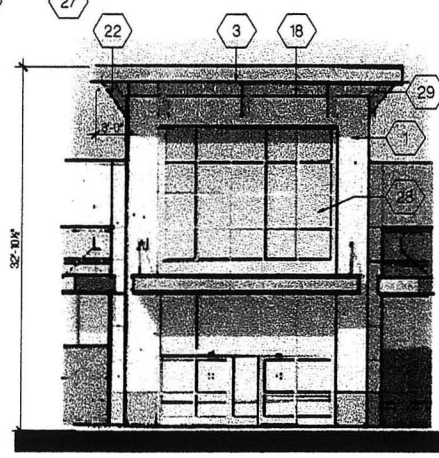
1 SOUTH EXTERIOR ELEVATION
1/8" = 1'-0"



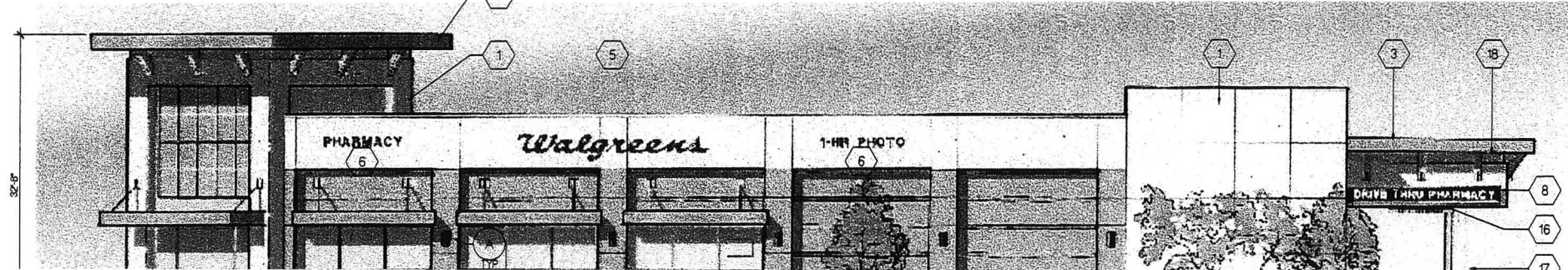
2 WEST EXTERIOR ELEVATION
1/8" = 1'-0"



3 NORTH EXTERIOR ELEVATION
1/8" = 1'-0"



5 FRONT TOWER ELEVATION
1/8" = 1'-0"



EXTERIOR ELEVATIONS KEYED NOTES

- | DESCRIPTION |
|---|
| ① 7/8 CEMENTITIOUS PLASTER OVER MTL. LATH, OVER 2 LAYERS GRADE D BLDG. PAPER. WOOD FRAME STRUCTURE PER STRUCT. DWGS. COLOR TO MATCH BENJAMIN MOORE 'BONE WHITE' |
| ② 8" CMU BLOCK TO +7'-0" COURSE. 8" AIRVOL PRECISION COLOR #67h609q. |
| ③ METAL ROOF. COLOR IMSA HEMLOCK GREEN. |
| ④ PREFINISHED SHEET METAL COPING, GUTTERS, PARAPET CAP FLASHING, AND FLASHING ADJACENT TO STANDING SEAM ROOF. |
| ⑤ RED 'WALGREENS' SCRIPT SIGN, INTERNALLY ILLUMINATED. |
| ⑥ INDIVIDUAL LETTER SIGN. SEE A52 |
| ⑦ ROOF DECK BEYOND. |
| ⑧ BOX SIGN. SEE A52 |
| ⑨ WALL-MOUNTED LIGHT, MOUNT MAX +14" AFF PER DESIGN GUIDELINES. |
| ⑩ TOTE ENCLOSURE |
| ⑪ TRASH COMPACTOR |
| ⑫ PIPE BOLLARD. |
| ⑬ - |
| ⑭ WINDOW SIGN. SEE A52, NO. 7 |
| ⑮ PARAPET, CAP FLASHING, PREFIN. COLOR TO MATCH BONE WHITE |
| ⑯ 'CLEARANCE' SIGN. |
| ⑰ COL. W/ BRUSHED ALUM. FIN. O/STRUCT. STEEL COL. |
| ⑱ PREFINISHED METAL CLADDING TO MATCH STOREFRONT CLEAR ANOD. ALUM. |
| ⑲ PNEUMATIC TRANSFER TUBE. |
| ⑳ 4" SPLIT-FACE CMU, AIRVOL COLOR #600512a, EVERY 4TH COURSE |
| ㉑ CONDUCTOR HEAD AND DOWNSPOUT TO BE FABRICATED FROM PREFINISHED SHEETMETAL TO MATCH IMSA 'HEMLOCK GREEN' |
| ㉒ WOOD TIMBER BRACING W/ CLEAR STAIN FIN. |
| ㉓ PRECISION: AIR VOL. 600612a |
| ㉔ STUCCO PLASTER TO MATCH ICI 325 AUTUMN BLUSH |
| ㉕ STUCCO @ PLANTER TO MATCH BUILDING WAINSCOT COLOR. |
| ㉖ 2 x 2 T.S. ESPALIER, COLOR: POWDER COAT TO MATCH HEMLOCK GREEN. |
| ㉗ STL. GATES W/ PREFIN. MTL. CLADDING. COLOR: HEMLOCK GREEN. |
| ㉘ GLAZING TO BE TRANSPARENT & NON-REFLECTIVE |
| ㉙ TIMBER BRACING W/CLEAR STAIN FIN. W/BRUSHED ALUM. BLOCKING BEHIND. |

Walgreens
FACILITIES PLANNING AND DESIGN
200 WILMOT ROAD
DEERFIELD, IL 60015-4616
847-940-2500

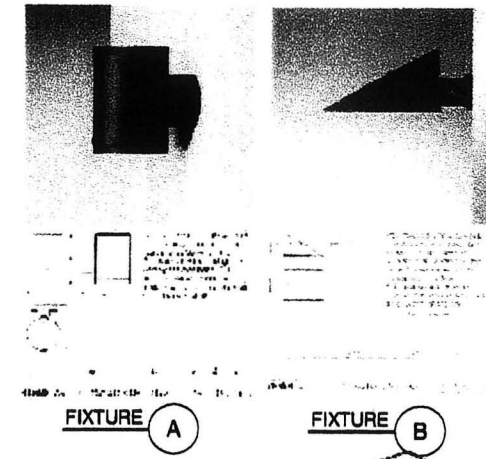
DRAWINGS/SPECIFICATIONS BY:
 WALGREENS' CONSULTANT
 LANLORD'S CONSULTANT
 ALL CONSTRUCTION WORK, UNLESS NOTED OTHERWISE, BY:
 WALGREENS' CONTRACTOR
 LANLORD'S CONTRACTOR (TURNKEY CONSTRUCTION)

STORE	BUILDING
NEW <input checked="" type="checkbox"/>	NEW <input checked="" type="checkbox"/>
REMODELING <input type="checkbox"/>	EXISTING <input type="checkbox"/>
RELOCATION <input type="checkbox"/>	NEW SHELL ONLY <input type="checkbox"/>
OTHERS <input type="checkbox"/>	

SIGN AREA SUMMARY		
	PROVIDED	ALLOWED
ELEVATION #1 (SOUTH ELEVATION)	FRONTAGE 107'	107' X 8' = 84 SF
20'-0 3/4" WALGREENS SCRIPT SIGN	33.5 S.F.	
12" 1-HR PHOTO INDIVIDUAL LETTER	9.30 S.F.	
12" PHARMACY INDIVIDUAL LETTER	34.2 S.F.	50.0 S.F.
MONUMENT SIGN (BOTH SIDES COUNTED)	85.8 S.F.	114.0 S.F.
ELEVATION #2 (WEST ELEVATION)	FRONTAGE 146'	146' X 8' = 78 SF
EXIT BOX SIGN (DIRECTIONAL)	10.0 S.F.	10.0 S.F.
ELEVATION #3 (NORTH ELEVATION)	FRONTAGE 107'	107' X 8' = 84 SF
20'-0 1/2" WALGREENS SCRIPT SIGN	55.8 S.F.	58.5 S.F.
12" 1-HR PHOTO INDIVIDUAL LETTER	9.30 S.F.	
12" PHARMACY INDIVIDUAL LETTER	34.2 S.F.	50.0 S.F.
MONUMENT SIGN (BOTH SIDES COUNTED)	119.8 S.F.	348 S.F.
ELEVATION #4 (EAST ELEVATION)	FRONTAGE 146'	146' X 2' = 288 SF
20'-0 3/4" WALGREENS SCRIPT SIGN	33.5 S.F.	
12" 1-HR PHOTO INDIVIDUAL LETTER	9.30 S.F.	
12" PHARMACY INDIVIDUAL LETTER	34.2 S.F.	50.0 S.F.
DRIVE THRU PHARMACY BOX SIGN (DIRECTIONAL)	34.0 S.F.	
MONUMENT SIGN (BOTH SIDES COUNTED)	119.8 S.F.	348 S.F.
TOTAL BUILDING SIGNAGE	202.4 S.F.	481.5 S.F.
TOTAL SITE SIGNAGE	84.0 S.F.	100.0 S.F.
TOTAL SIGNAGE AREA	270.8 S.F.	581.5 S.F.

SIGN CODE SUMMARY
 THE ARRANGEMENT AND CALCULATION FOR THE SIGN AREA SUMMARY IS PER THE CITY PROJECT PLANNER. SIGNAGE AREAS PROVIDED BY THIS DRAWING SET ARE LIMITED TO THE DISCRETION OF THE PROJECT PLANNER, THE DESIGN GUIDELINES AND THE CITY COUNCIL. THESE AREAS ARE THE MAXIMUM ALLOWANCES OF BUILDING AND SITE SIGNAGE AS INTERPRETED UNDER THE APPLICABLE ORDINANCES. W/REQUESTED VARIANCE FOR SOUTHERN ELEVATION AND SECOND MONUMENT SIGN.

Paul Poirier + Michael David
ARCHITECTS
150 West Alameda, Suite C Santa Barbara CA 93105
phone: (805)682-8894 fax: 805-6883



NO.	DATE	BY	DESCRIPTION	CONS.

CERTIFICATION AND SEAL

I HEREBY CERTIFY THAT THIS PLAN AND SPECIFICATION WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED ARCHITECT OR ENGINEER UNDER THE LAWS OF THE STATE OF CALIFORNIA AS SIGNIFIED BY MY HAND AND SEAL.

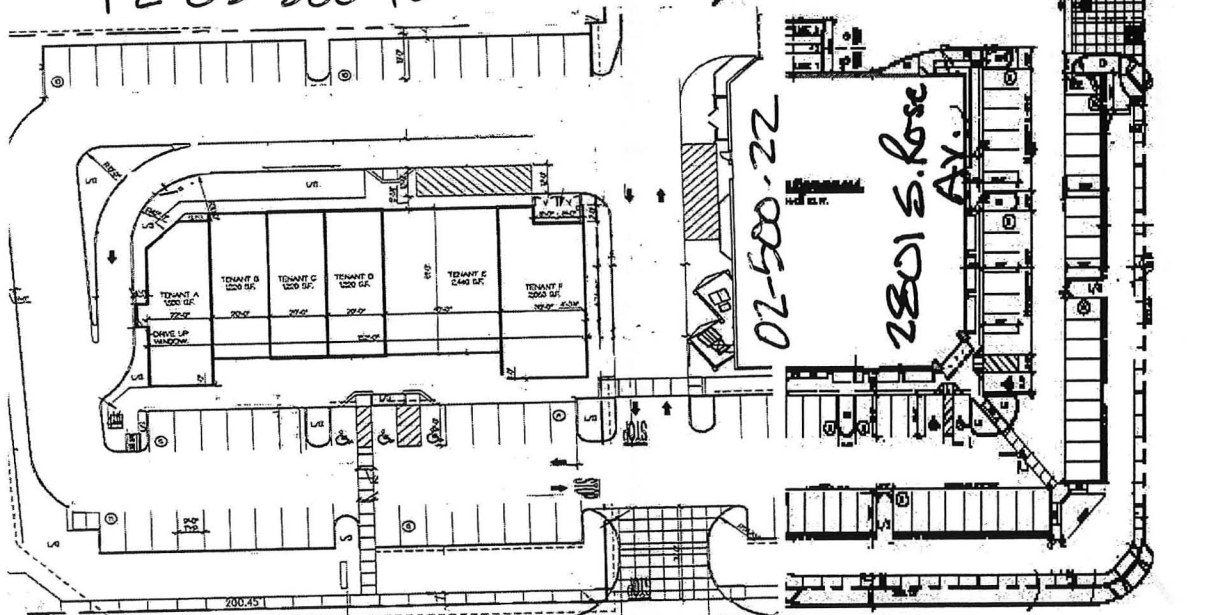


STORE NUMBER 07305
 PROJECT NAME
 WALGREENS STORE
 NWC ROSE AVE. & CHANNEL ISLANDS BLVD.
 OXNARD, CALIFORNIA 93033
 DRAWING TITLE

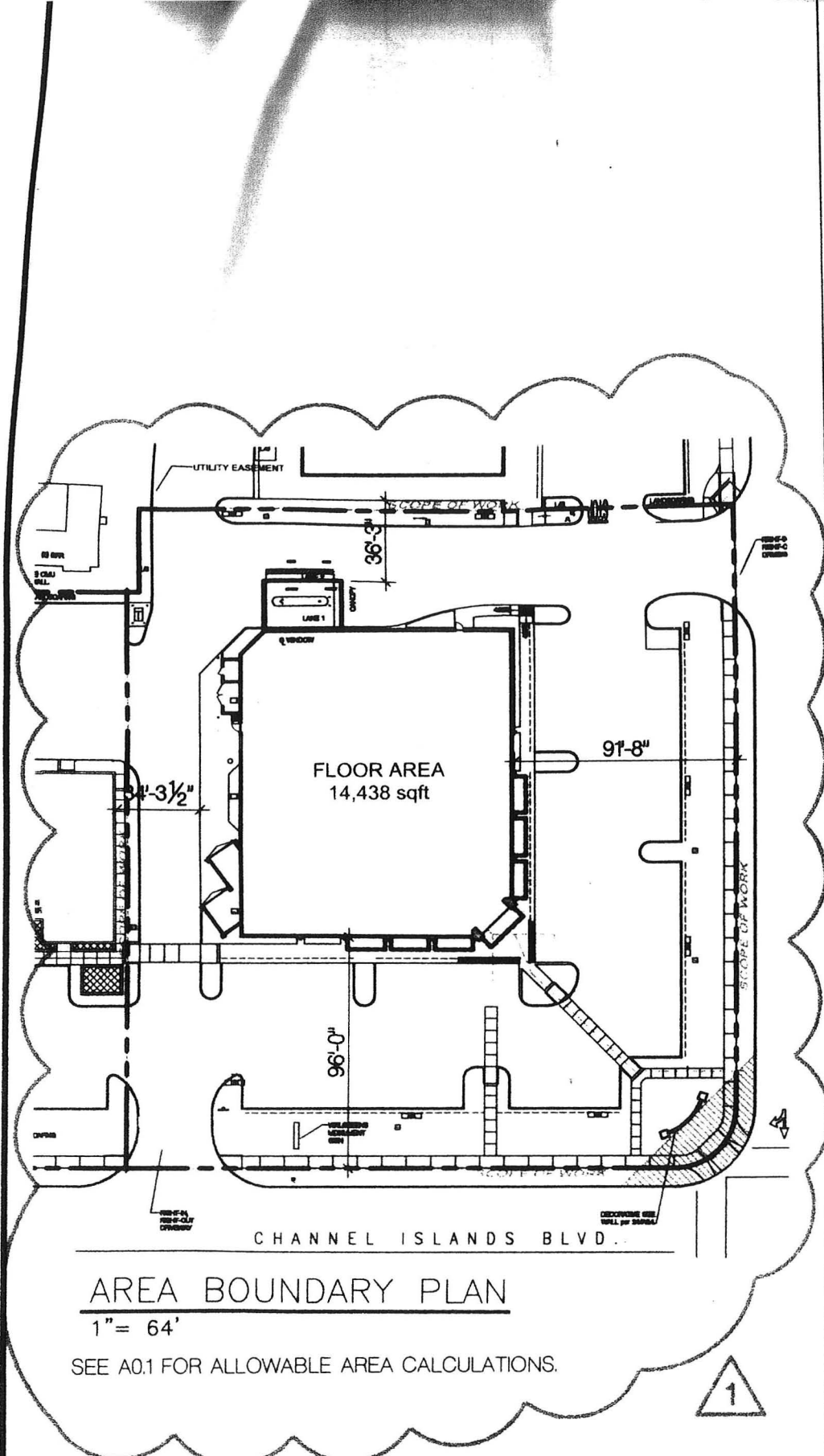
NORTH

PZ 04-500-15

PZ 03-500-10



CHANNEL S. BL.



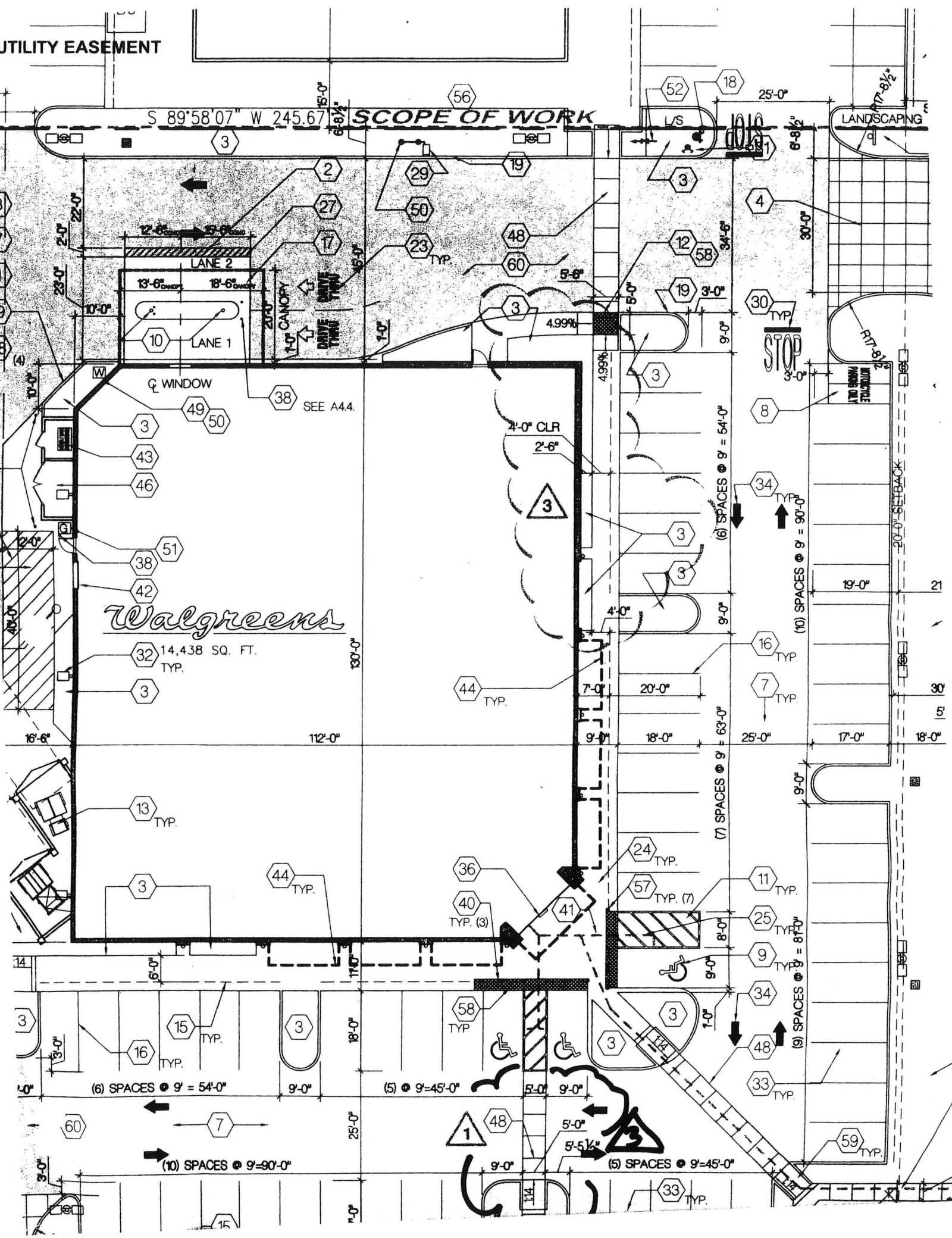
- 7 ASPHALT PAVING PER
- 8 CONC. PAVEMENT FOR
- 9 ACCESSIBLE PARKING
- 10 CANOPY COLUMN.
- 11 ACCESSIBLE LOADING
- 12 ASPHALT PAVING SH.
- 13 TRASH ENCLOSURE,
- 14 MONUMENT SIGN PER
- 15 2'-0" VEHICLE OVER
- 16 PARKING STRIPING F
- 17 CANOPY ABOVE.
- 18 FIRE HYDRANT PER
- 19 RED CURB ALONG D
- 20 LIGHT POLE, TYP. V
STALL STRIPE
- 21 ADA ACCESSIBLE PA
SEE CIVIL DWGS.
- 22 (E) SPLIT FACE CON
- 23 DIRECTIONAL SIGN F
- 24 FULLY ACCESSIBLE
MAX CROSS SLOPE
48". COLOR: DAVIS,
- 25 BLUE STRIPING @ F
NON-HCP PARKING.
- 26 CONCRETE NON-DEF
- 27 CONC. PAD @ DRIVE
DWGS.
- 28 PLANTER TYP.
- 29 BACKFLOW PREVENT
- 30 LOCATION FOR WHITE
ELONGATED HELVET
- 31 FIRE DEPT. SIAMESE
- 32 WALL MTD. SITE LIG
- 33 9'-0" x 19'-0" STI
SIDEWALK.
- 34 PAINTED WHITE DIRE
- 35 24" OCTAGONAL STO
- 36 ADA STORE ENTRANC
- 37 ADA HC PKG SIGN I
3' AND 15' HIGH.
- 38 PIPE BOLLARD PER
- 39 ADA ENTRANCE SIGN
- 40 ADA PKG SIGN PER
- 41 ACCESSIBLE PATH O



UTILITY EASEMENT

S 89°58'07" W 245.67' **SCOPE OF WORK**

LANDSCAPING



Walgreens

14,438 SQ. FT.
TYP.

SEE A4.4.

TYP.

(6) SPACES @ 9' = 54'-0"

(7) SPACES @ 9' = 63'-0"

(10) SPACES @ 9' = 90'-0"

(9) SPACES @ 9' = 81'-0"

(6) SPACES @ 9' = 54'-0"

(5) @ 9'-45'-0"

(5) SPACES @ 9' = 45'-0"

(10) SPACES @ 9' = 90'-0"

DUCT. DWGS. COLOR TO MATCH
 "ONE WHITE"
 7'-0" COURSE: 8" AIRVOL PRECISION
 DIM: HEMLOCK GREEN.
 METAL COPING, GUTTERS, PARAPET
 FLASHING ADJACENT TO STANDING
 SCRIPT SIGN. INTERNALLY ILLUMINATED.
 GN. SEE A5.2
 ID.
 2
 MOUNT, MOUNT MAX +14' AFF PER DESIGN
 A5.2, NO. 7
 SH: PREFIN.
 BC: WHITE
 ALUM FIN. O/STRUCT. STEEL COL
 CLADDING TO MATCH
 R ANOD. ALUM.
 ER TUBE.
 AIRVOL COLOR #60d612e, EVERY 4TH
 AND DOWNSPOUT TO BE FABRICATED
 SHEETMETAL TO MATCH IMSA
 GING W/ CLEAR STAIN FIN.
 60d612e.
 TO MATCH ICI 325 AUTUMN BLUSH.
 R TO MATCH BUILDING WAINSCOT
 COIOR: POWDER COAT TO MATCH
 IN MTL CLADDING. COLOR: HEMLOCK
 NSPARENT & NON-REFLECTIVE

DRAWINGS/SPECIFICATIONS BY:
 WALGREENS' CONSULTANT
 LANDLORD'S CONSULTANT

ALL CONSTRUCTION WORK, UNLESS NOTED OTHERWISE, BY:
 WALGREENS' CONTRACTOR
 LANDLORD'S CONTRACTOR (TURNKEY CONSTRUCTION)

STORE	BUILDING
NEW <input checked="" type="checkbox"/>	NEW <input checked="" type="checkbox"/>
REMODELING <input type="checkbox"/>	EXISTING <input type="checkbox"/>
RELOCATION <input type="checkbox"/>	NEW SHELL ONLY <input type="checkbox"/>
OTHERS <input type="checkbox"/>	

6250022
 Per City Permit
 04-2355
 * 10' max
 44'

SIGN AREA SUMMARY		
	PROVIDED	ALLOWED
ELEVATION #1 (SOUTH ELEVATION)	FRONTAGE: 128'	128' X 5' = 64 SF.
20'-8 3/4" WALGREENS SCRIPT SIGN	33.5 S.F.	
12" 1-HR PHOTO INDIVIDUAL LETTER	9.30 S.F.	
12" PHARMACY INDIVIDUAL LETTER	8.50 S.F.	
	51.3 S.F.	64 S.F.
CHANNEL ISLANDS ENTRANCE		
MONUMENT SIGN (BOTH SIDES COUNTED)	34.2 S.F.	50.0 S.F.
ELEVATION #2 (WEST ELEVATION)	FRONTAGE: 148'	148' X 5' = 73 SF.
EXIT INDIV LETTER SIGN (DIRECTIONAL)	2.1 S.F.	73.0 S.F.
ELEVATION #3 (NORTH ELEVATION)	FRONTAGE: 117'	117' X 5' = 585 SF.
26'-8 1/2" WALGREENS SCRIPT SIGN	55.8 S.F.	58.5 S.F.
ELEVATION #4 (EAST ELEVATION) (PRIMARY FRONTAGE)	FRONTAGE: 148'	148' X 2' = 296 SF.
20'-8 3/4" WALGREENS SCRIPT SIGN	33.5 S.F.	
12" 1-HR PHOTO INDIVIDUAL LETTER	9.30 S.F.	
12" PHARMACY INDIVIDUAL LETTER	8.50 S.F.	
D.T. PHARMACY INDIV. LETTER SIGN (DIRECTIONAL)	12.6 S.F.	
	63.9 S.F.	74 S.F.
ROSE ENTRANCE		
MONUMENT SIGN (BOTH SIDES COUNTED)	34.2 S.F.	50.0 S.F.
GATEWAY SIGNAGE		
RETAIL DISTRICT IDENTIFIER	32.0 S.F.	EXEMPT
TOTAL BUILDING SIGNAGE	173.1 S.F.	491.5 S.F.
TOTAL SITE SIGNAGE	68.4 S.F.	100.0 S.F.
TOTAL SIGNAGE AREA	241.5 S.F.	591.5 S.F.

* 8.2' φ
 7.5' φ
 2.1' φ
 130' φ
 8.2' φ
 7.5' φ
 12.6' φ
 32.6' φ
 305.6' φ
 TOTAL SIGNAGE
 8/24/04
 JOE HERNANDEZ
 RELEASED
 319.5' φ

SIGN CODE SUMMARY
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MONUMENT SIGN NOTES

THIS SIGN WORK SHALL CONSIST OF THE CONSTRUCTION AND INSTALLATION OF ONE NEW DOUBLE-FACED MONUMENT SIGN. SIGN POWER, MASONRY BASE AND FOUNDATION BY LANDLORD'S CONTRACTOR. WALGREENS' SIGN FACES, STRUCTURAL SUPPORTS AND CABINETS BY WALGREENS' SIGN CONTRACTOR.

LOCAL SIGN CODE LIMITS THE FACE AREA OF FREESTANDING SIGNAGE TO 17 SQ.FT. AND A MAXIMUM SIGN HEIGHT OF 5'-0". CODE MANDATES USE OF BRICK BASE.

WALGREENS' PRIMARY PANEL SIGN FACES TO BE FABRICATED FROM ROHM AND HAAS #7328 WHITE IMPACT RESISTANT DR ACRYLIC. SIGN FACES TO HAVE RED BACKGROUND WITH WHITE COPY AND STARS; BLUE MORTAR AND PESTLE FORMATTED WITH 3M #3630-53 "CARDINAL RED" AND 3M #3630-36 "BLUE" SURFACE APPLIED VINYL FILMS.

PROVIDE TWO (2) CONDUITS TO PYLON: ONE FOR LIGHTING CIRCUIT. THE OTHER FOR COAXIAL CABLE FROM CONTROL CENTER TO POSSIBLE FUTURE LED READERBOARD. PROVIDE 300' COAXIAL CABLE FOR EACH GROUND SIGN (REFER TO SITE PLAN).

THE MORTAR AND PESTLE SYMBOL:
9" OVERALL SYMBOL HEIGHT AND 8" OVERALL SYMBOL WIDTH.

"WALGREENS" EXTENDED SCRIPT COPY:
8" CAPITAL AND 6" LOWER CASE LETTER HEIGHTS; 11" OVERALL COPY HEIGHT AND 6'-6" OVERALL LENGTH.

"DRIVE-THRU PHARMACY" HELVETICA MEDIUM COPY: 3" CAPITAL LETTER HEIGHT AND 5'-10" OVERALL COPY LENGTH.

INTERNAL C.W.H.O. FLUORESCENT ILLUMINATION.

ALL DIMENSIONS AND CONDITIONS TO BE VERIFIED IN THE FIELD BY THE SIGN CONTRACTOR PRIOR TO SIGN FABRICATION.

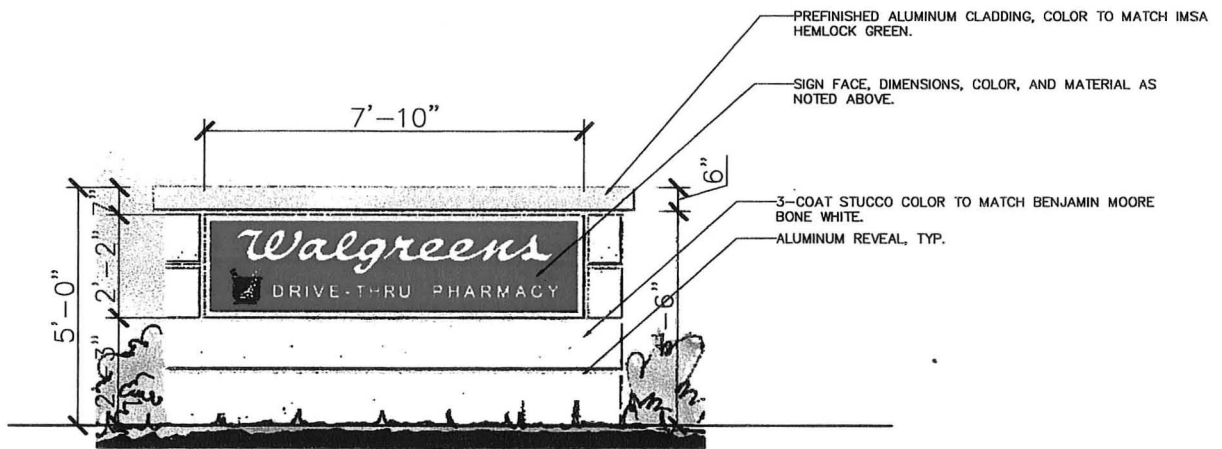
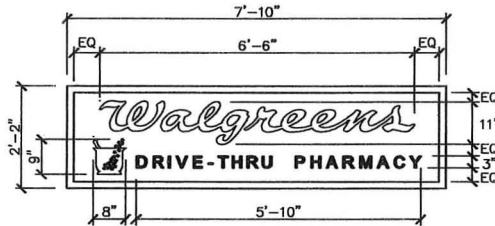
SIGN CONTRACTOR SHALL BE RESPONSIBLE FOR SIGNS' COMPLIANCE TO ALL APPLICABLE CODES AND ORDINANCES.

SIGN CONTRACTOR SHALL OBTAIN ALL PERMITS NECESSARY TO INSTALL THE SIGN.

SIGN CONTRACTOR SHALL FURNISH (2) TWO SETS OF SHOP DRAWINGS FOR APPROVAL TO THIS OFFICE BEFORE FABRICATION.

ALL SIGNS TO BE FABRICATED ACCORDING TO THE UNDERWRITERS LABORATORIES SPECIFICATIONS AND TO BEAR UL LABELS.

PROVIDE DISCONNECT SWITCH ON EXTERIOR OF SIGN FOR EACH CIRCUIT TO COMPLY WITH STATE AND LOCAL CODES.



TOTAL SIGN FACE AREA = 17 S.F.

1

MONUMENT SIGN ELEVATION

SCALE: 1/4" = 1'-0"

REVISIONS

NO.	DATE	BY	DESCRIPTION	CONST

Walgreens

200 WILMOT ROAD
DEERFIELD, IL 60015-4616

TITLE: FREESTANDING SIGNAGE
ADDRESS: (NWC) ROSE & CHANNEL ISLANDS BLVD.
LOCATION: OXNARD, CA.
STORE #: 07305

SCALE: AS SHOWN
DRAWN BY: HERWEG
DATE: 3/7/03
CADD PLOT: d507305ox.dwg

SHEET: D-5