

## CENTERPOINT MALL MASTER SIGN PROGRAM

### I. PURPOSE AND INTENT

This Master Sign Program establishes requirements for the design and fabrication of all building and site signage at the Centerpoint Mall project sites, including primary identification signs, secondary identification signs and informational signs. Unique and high quality signage is an integral part of the design, image and success of Centerpoint Mall. The intent of this sign program is to ensure that tenant signage in the commercial center is designated and executed in a manner which will achieve these objectives while providing superior identification of tenants and tenant's business, including incorporation of corporate identification where consistent with this program.

### II. COMPLIANCE

The City of Oxnard shall review, approve and issue building permits for all signage prior to fabrication and installation. The requirements of the Oxnard Sign Ordinance shall apply unless otherwise indicated below.

### III. PROCESS

**A. Required Signage-** Each structure shall provide a minimum of one major identification sign per store frontage with public entrance. All signage shall conform to the sign sizes, overall allocations and sign location designated in this program.

**B. City Review of Sign Design-** Individual building owners shall provide the following information to the Planning Manager for use in reviewing the proposed signage and recommend approval or changes as required to conform to this sign guidelines. Review will be made in the context of the architectural features of the individual structures and how the proposed signage is compatible with said architectural style and features. Signs shall not detract from the aesthetic character of the architecture. Sign design submittal package shall include: full store name, logo images, dimensions and colors, and description or samples of interior material finishes.

**C. Building Permit Submittals-** After approval of the Sign Design by the Planning Manager, the Building Owner shall direct his Sign Contractor to prepare and submit the following to the City for building permit approval:  
Required sets of complete and fully dimensioned shop drawings for all signs ("Shop Drawing") based on the approved Sign Design.

Colored elevation(s) drawings of the complete structure, delineating the proposed signage and its impact on the building; show all elevations where signage is proposed.

Three sets of samples of actual paint colors and finishes.

Full store name, logo images and color.

**D. Fabrication and Installation-** Only after building permits are issued for the approved design, Building Owner shall cause its Sign Contractor to fabricate and install signage in conformance with the Shop Drawings and other materials as approved by the Planning Division and the City. Planning Division shall have the right to perform an in-shop inspection of signage prior to installation.

Building Owner shall cause its signage to be installed so that it is operative on or before the date the proposed building (or portion of space therein) is required to open its store for business to the public.

All costs associated with fabrication and installation of signage, including the costs of all governmental permits, approvals and processing fees, shall be paid by the Building Owner.

#### IV. DESIGN GUIDELINES

##### **A. Design Objectives-**

1. The primary objective of the Design Guidelines is to generate high quality Tenant signage that reflects a sophisticated, contemporary environment. A coordinated sign program that provides for harmony with adjacent structures, yet allows for some individual diversity is encouraged.
2. It is also the objective of the Design Guidelines to limit the overall signage allocations and size of the individual sign letters to create an attractive and uncluttered streetscape.

**B. Acceptable Sign Treatments-** A coordinated approach where signage is composed of several different but related elements and lighting techniques is encouraged. The following treatments are considered appropriate:

- Dimensioned geometric shapes
- Painted metals
- Screens, grids or mesh
- Polished metals
- Cut or fabricated steel
- Wood
- Neon
- Under canopy signs
- Internal LED illumination of channel letters
- Tenant window signs
- Flags, banners for center uses
- Dimensional letter forms with seamless edge treatment

- a) *Acceptable Sign Letter Materials:* Acrylic, Wood, Aluminum, Fiberglass, Metal, Neon.
- b) *Unacceptable Sign Letter Materials:* Foam, Styrofoam, Vinyl, Plastic, Plastic Laminates, Cardboard, Paper.

C. **Prohibited Signs-** The following are prohibited:

- 1. Permanent advertising devices such as attraction boards, posters.
- 2. Exposed junction boxes, transformers, lamps, conduits
- 3. Sign Manufacturers names, stamps or decals
- 4. Vacuum formed type plastic letters
- 5. Paper, cardboard or Styrofoam signs
- 6. Exposed fastenings unless fastenings make an intentional statement
- 7. Simulated materials (i.e., wood grained plastic laminates, etc.)
- 8. Animated lights or other moving sign components
- 9. Conventional internally illuminated box/can type signs.
- 10. All other signs prohibited by the City Sign Ordinance
- 11. Flashing, moving signs
- 12. Box cabinet illuminated signage

a. **Lighting-** In keeping with the sophisticated character of the project, identity signs for Tenants should be illuminated using one of the following techniques:

- 1. Reverse channel neon
- 2. Open face channel neon
- 3. Silhouette illuminated
- 4. Individual illuminated letters
- 5. Front lighting
- 6. Area lighting

All front lighting should be obscured in channels where possible. Where fixtures, shades, or other elements are exposed, they should contribute to the design of the storefront. All exposed or skeletal neon must be backed with an opaque coating as described in acceptable sign treatments, unless otherwise approved by the Planning Division. All housing and tube supports for exposed neon signs must be painted out to match the building background immediately behind and adjacent to the sign. In no event shall sign lighting create a public nuisance or jeopardize public safety.

D. **Colors-** The following guidelines shall be adhered to in selecting colors for the Tenant signage.

- 1. Sign colors should be selected to provide sufficient contrast against building background colors.
- 2. Color within each sign should be harmoniously blended
- 3. Sign colors should be compatible with building background colors
- 4. Signage colors should be coordinated with other on-site signs
- 5. Color or letter returns should be painted dark when against light backgrounds
- 6. Interior or open channel letter should be painted dark when against light backgrounds
- 7. Neon colors should complement related signage elements
- 8. Corporate logos are allowed (franchise or national)

All sign colors are subject to review and approval by the Planning Division Manager as part of the sign submittal process.

- E. **Type Styles-** The use of logos and distinctive type styles is allowed for all signs. Building Owners may adapt established type styles, logos and/or images that are in use on similar buildings operated by them in California, provided that said images are architecturally compatible and coordinated with the sign program. Type case letters depending on sign area. No logo (emblem or symbol e.g. Texaco Star or Golden Arches) shall be more than 36 inches tall, except as otherwise stated in this document.

## **V. MERCHANT SIGNAGE AND ALLOWABLE SQUARE FOOTAGE**

The following signage allocations are based upon City of Oxnard Sign Ordinance standards and are maximums that may not be exceeded unless a Minor Modification is approved as stated below. Tenant Signage locations are as shown on Elevations on Exhibits 2.1-2.3 and Site locations shown on Exhibits 5.1, 5.2 and 5.3. Allowable Signage for Tenant is as shown on Exhibits 6.1-6.3. The Planning Manager has authority to consider alternative proposed sign size, appearance and location in a Minor Modification request. A tenant's sign may be located on an elevation where the tenant has no frontage, when the amount of sign area per building side does not exceed the Sign Program allowances.

### **A. Individual Structures on Separate Parcels and Major Mall Buildings-**

The total signage allocation shall not exceed two square feet of sign, for each lineal foot of storefront on the principal street (predominant business exposure). No single sign per elevation shall exceed 300 square feet or 10% of the building frontage. One major identification sign is required on the primary entry elevation. Sign square footage allowed by the primary frontage may be used on other elevations that do not face an arcade or mall.

Where there is a second or third building frontage and entrance facing a pedestrian arcade or mall, one additional ½ square foot of sign area per lineal foot of building frontage facing said arcade or mall is allowed. This signage shall be placed on the wall facing the arcade or mall driveway. No other signage is permitted on these elevations. (Exhibit 5.1). A tenant's sign may be located on an elevation where the tenant has no frontage, when the amount of sign area per building side does not exceed the sign program allowances per the Planning Manager's approval.

Major Anchor Tenants may have over 300 square feet of signage per elevation, not to exceed 450 square feet (Exhibit 6.2.1).

Maximum letter height on the building attached letters shall not exceed 36 inches with exception for Major Anchor Tenants in frontages that face Saviers Road and/or 'C' Street maximum letter height shall not exceed 72 inches.

Maximum sign length should not exceed 70% of the tenant frontage.



**B. Inline Mall Tenants-**

For Exterior Inline Tenants the total signage allocation shall not exceed 2 square feet of sign, for each linear foot of storefront. One major identification sign is required on the primary elevation.

Where there is a second frontage facing an interior mall walkway, one additional ½ square foot of sign area per lineal foot of building frontage facing said arcade or mall is allowed to be used on that frontage only. This signage shall be placed on the wall facing an interior mall walkway. Maximum letter height on the building attached letters shall not exceed 36 inches.

Interior Mall Tenants having no frontage on a street, may not have exterior wall mounted signage, but they are allowed ½ square foot of sign area per lineal foot of frontage in the interior of the mall where their entrance is located.

**C. Other Tenant Signage**

All tenants are allowed signage which includes one or more of the following: projecting sign or under canopy sign, storefront or window sign, and/or a space on the Mall Free-standing sign. The Area of these signs shall apply to allowable signage calculation for the Tenant.

Tenants are allowed to have one projecting sign per elevation frontage, limit of two, with a maximum area of 4.5 SF (Exhibit 2.1). One under canopy sign is permitted per tenant as long as the sign does not exceed 4 feet in length and 2 foot in height, with a maximum area of 8 SF (Exhibit 2.3). One window or storefront sign is allowed per tenant, in the entrance frontage, it shall be a maximum of 9 SF and shall be placed at a maximum height of 12 feet above finish floor. A space on the free-standing sign is allowed for a major tenant or as permitted by the landlord, with a maximum area of 4-6 SF per tenant, with landlord approval (Exhibit 5.6). All of the signs above can consist of logos and/or letters, except for the space on the free-standing sign which can only have letters.

Materials of this signage shall be consistent with the Design Guidelines of this master sign program.

Signs hung inside a building 24" or more away from an exterior window shall not count toward the allowable signage per tenant.

**D. Master Plan – Non conforming signs**

Existing permitted signs as of the date this master program is approved may remain. If a Tenant changes in a space with a non-conforming sign, the sign shall be removed and replaced with a sign that conforms to this Master Sign Program.

Tenants are not allowed to have ground signs. Existing tenant ground signs on site are to be removed at the time the tenant vacates or an addition is constructed to the Building.

## VI. MALL IDENTIFICATION SIGNS

**Required Sign Design-** On-site Center signs shall be designated and built to the following specifications:

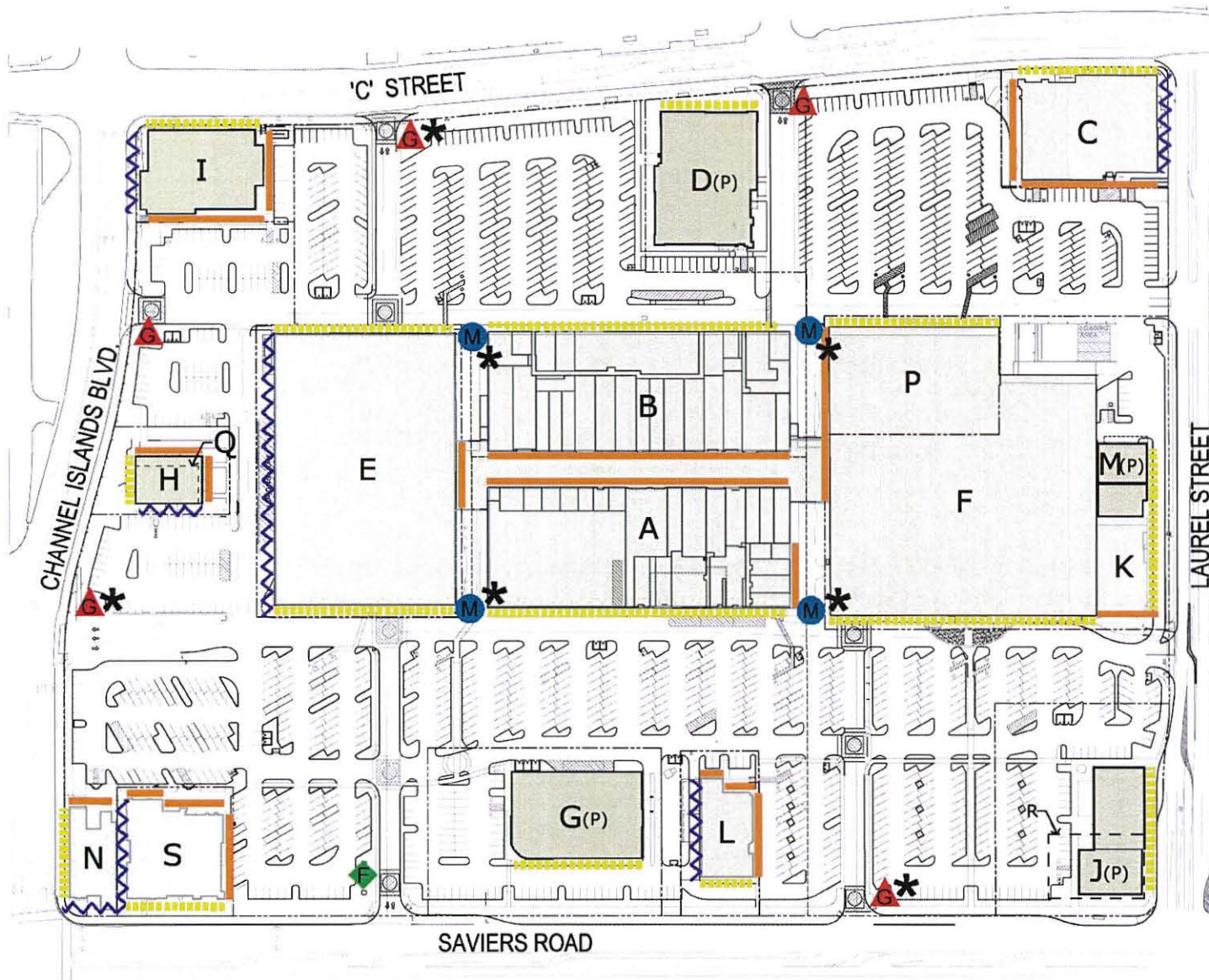
1. Ground Signs – Shall be located at entry points designated on Exhibit 5.1 and shall be placed in landscaped areas. These signs may be one or two sided. These signs shall not be more than 42 inches in height, except they may be up to 6 feet in height if the sign is located 35 feet or more from a curb at any street intersection or driveway. A ground sign shall not exceed 50 square feet in size single sided or 25 sf each side. Ground sign colors shall be coordinated with the architecture and colors of the mall. No ground sign shall be located within 150 feet of another ground sign. [Exhibit 5.2](#) and [5.4](#) illustrates this sign style.  
Note: Because there is an existing non-conforming tenant ground sign on Channel Islands Blvd. that belongs to Building Q, only one mall identification ground sign on that street will be permitted at this time. When existing Tenant on Building Q vacates or an addition is constructed to de Building, such non conforming ground sign shall be removed and a second mall identification ground sign on Channel Islands Blvd. will be approved.
2. Entry Marquee signs are to be placed within the four entry points of the mall facing the parking lots as shown on Exhibit 5.1. Signs are to be single sided with luminous letters. Structure shall have smooth metal finish see [Exhibit 5.5](#) for design configuration.
3. Free-standing sign is to be located in a landscape area facing a Primary Street as shown on exhibit 5.1. Sign is to be double sided with luminous letters. Free-standing sign colors, except for individual tenant name/logo shall be coordinated with the architecture and colors of the mall. Sign Structure is composed of different finishes including Plaster, Stone Veneer and Aluminum. [Exhibit 5.3](#) and [5.6](#) illustrates this sign style.
4. Materials. The following are considered appropriate for Mall Identification Signs: Masonry, ceramic tile, plaster stucco and aluminum accent bandings; which will incorporate aluminum, acrylic or metal letters.
5. Colors-cohesive design elements.
6. Location. Signs shall be located as identified in the typical elevations and the site plans, [Exhibits 5.1](#), respectively. No signs or any part thereof shall be roof mounted.
7. All site signs are to be maintained.

## VI. GENERAL PROVISIONS AND CONSTRUCTION REQUIREMENTS

- A. No temporary wall signs, window signs, pennants, flags, inflatable displays or sandwich boards will be allowed except those signs specifically approved by Landlord and allowed by the City of Oxnard.
- B. Notwithstanding the maximum square specified for a copy area allowances, signs and typography in all cases shall appear balanced and in scale within the context of the sign space and the building as a whole. All signs shall fit comfortably into designated architectural spaces, leaving sufficient margins and negative space on all side. Thickness, height and color of sign lettering shall be visually balanced and in portion to other signs of the building.
- C. Dimensional letters and plaques shall be affixed without visible means of attachment, unless attachments make an intentional design statement.
- D. All sign fabrication work shall be of excellent quality. All logo images and type styles shall be accurately reproduced. Lettering that approximates type styles shall not be acceptable. Planning Division reserves the right to reject any fabrication work deemed to be below standard.
- E. Signs must be made of durable rust-inhibited materials that are appropriate and complementary to the building.
- F. All ferrous and nonferrous metals shall be separated with nonconductive gaskets to prevent electrolysis. In addition to gaskets, stainless steel fasteners shall be used to secure ferrous to nonferrous metals.
- G. Threaded rods or anchor bolts shall be used to mount sign letters which are spaced out from background panel. Angle clips attached to letter sides will not be permitted.
- H. Paint colors and finishes must be reviewed and approved by Landlord and City. Color coating shall exactly match the colors specified on the approved plans.
- I. Surfaces with color mixes and hues prone to fading (e.g., pastels, fluorescent, complex mixtures, and intense reds, yellows and purples) shall be coated with ultraviolet inhibitive clear coat in a semi-gloss finish.
- J. Joining of materials (e.g., seams) shall be finished in such a way to be unnoticeable. Visible welds shall be ground smooth and finished in such a way to be unnoticeable. Visible welds shall be ground smooth and finished with auto body filler. Rivets, crews, and other fasteners that extend to visible surfaces shall be flush, filled so to be unnoticeable.
- K. Finished surfaces of metal shall be free from oil and warping. All sign finishes shall be free of dust, orange peel, drips and runs and shall have uniform surface conforming to the highest standards of the industry.
- L. Channel letters shall have a maximum return depth of 5 inches. Return finish shall have a contrasting color from the face color. Double tube neon shall be used where letter stroke exceeds 30 inches. Letters installed on raceways will not be permitted unless specifically approved by the Planning Division.
- M. Depth of open channel letters shall be 2 inches. All hardware and neon tube supports inside open channel letters shall be painted to match interior letter color. Neon shall be sufficient to make letters read and shall be installed so that the top surface of neon is flush with front with edges of open channel.

- N. Brightness of signs is subject to approval by the Planning Division. Surfaces brightness of illuminated materials shall be consistent in all letters and components of the signs. Light leaks will not be permitted.
- O. All conduit, raceways, crossovers, ballast boxes, transformers and other equipment necessary for sign connection shall be concealed. All bolts, fastenings and clips shall be finished with a rust inhibitive finish.
- P. Underwriter's Laboratory approved labels shall be affixed to all electrical fixtures. Fabrications and installation of electrical signs shall comply with all national and local building code,
- Q. Penetrations into building walls, where required, shall be made waterproof. Location of all openings for conduit sleeves and support in sign panels and building walls shall be indicated by the Sign Contractor on the Shop Drawings submitted to the Planning Division. The Sign Contractor shall install same in accordance with the approved Shop Drawings.
- R. In no case shall any manufacturer's label be visible from the street from normal angles.





**SITE LEGEND**

-  GROUND SIGN LOCATION
-  MALL ENTRY MARQUEE SIGN LOCATION
-  MAIN MALL FREESTANDING SIGN
-  PRIMARY TENANT FRONTAGE  
2 SF X LINEAL FRONTAGE
-  SECONDARY TENANT FRONTAGE  
1/2 SF X LINEAL FRONTAGE
-  AREAS WHERE SF FROM PRIMARY  
FRONTAGE MAY ALSO BE USED
-  \* APPROVED UNDER SEPARATE PERMIT
-  (P) PROPOSED BUILDINGS

MASTER SITE PLAN



Exhibit 5.1  
SITE SIGNAGE LOCATIONS

Jan. 30, 2009

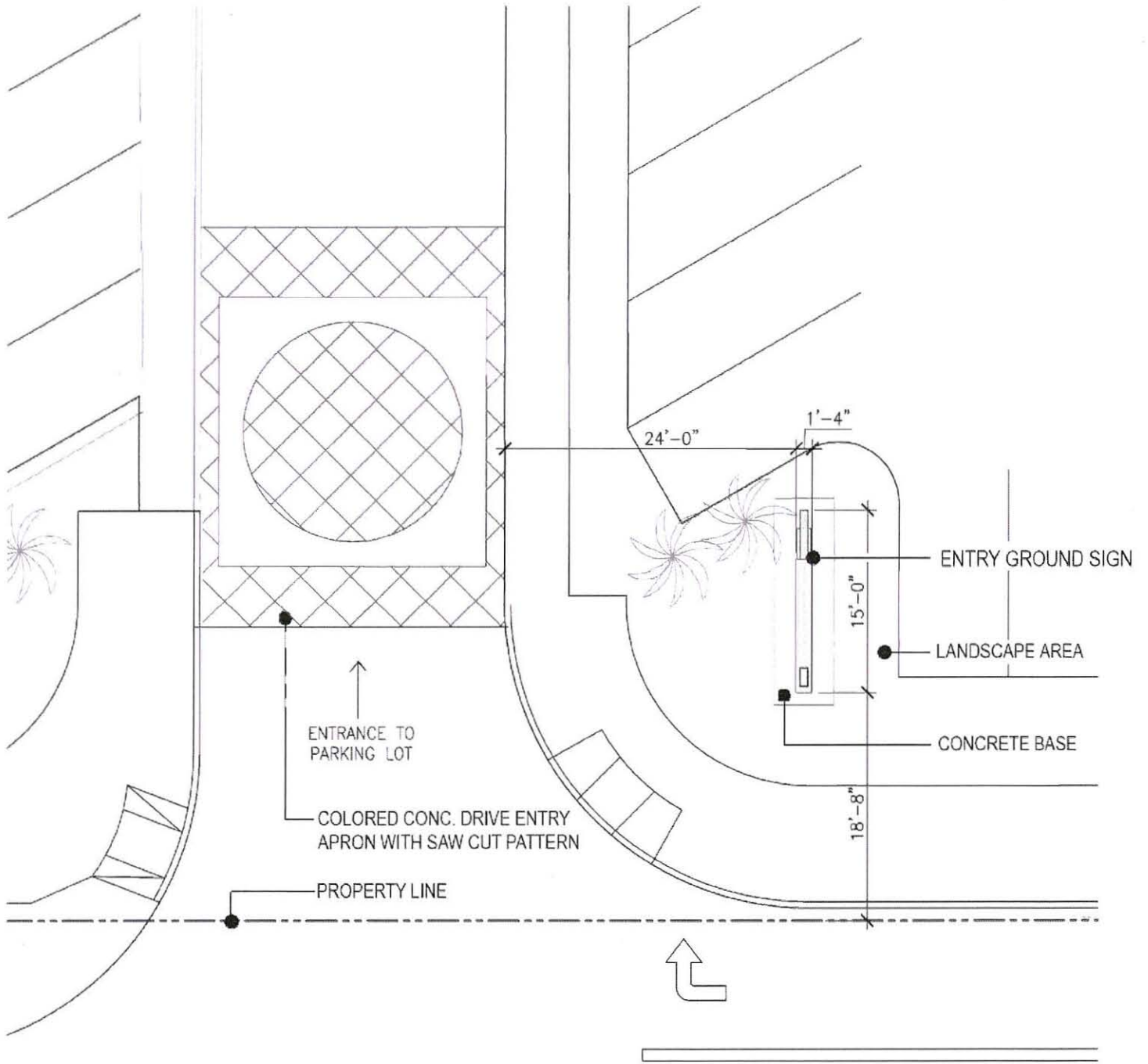


Exhibit 5.2  
GROUND SIGN TYP. LOCATION

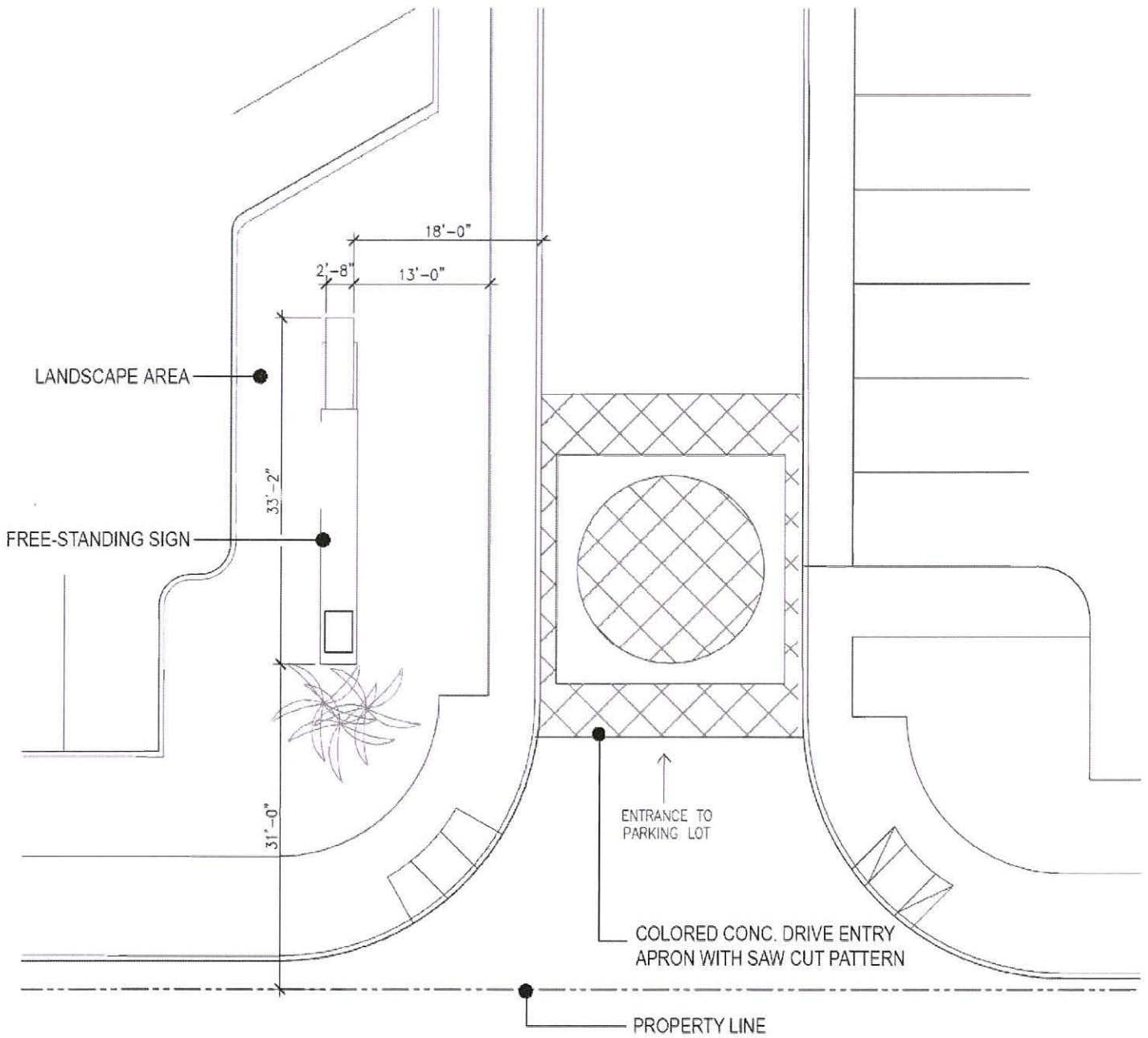
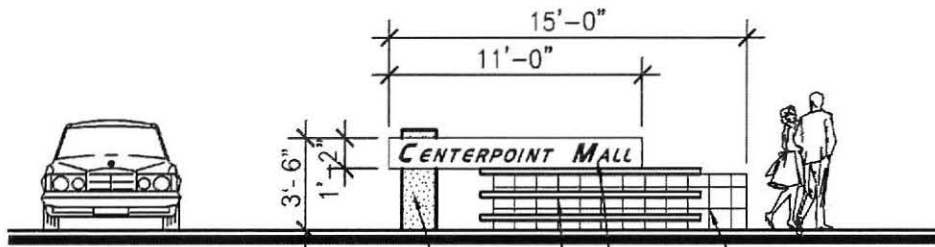


Exhibit 5.3  
FREE-STANDING SIGN LOCATION



STONE VENNER FINISH

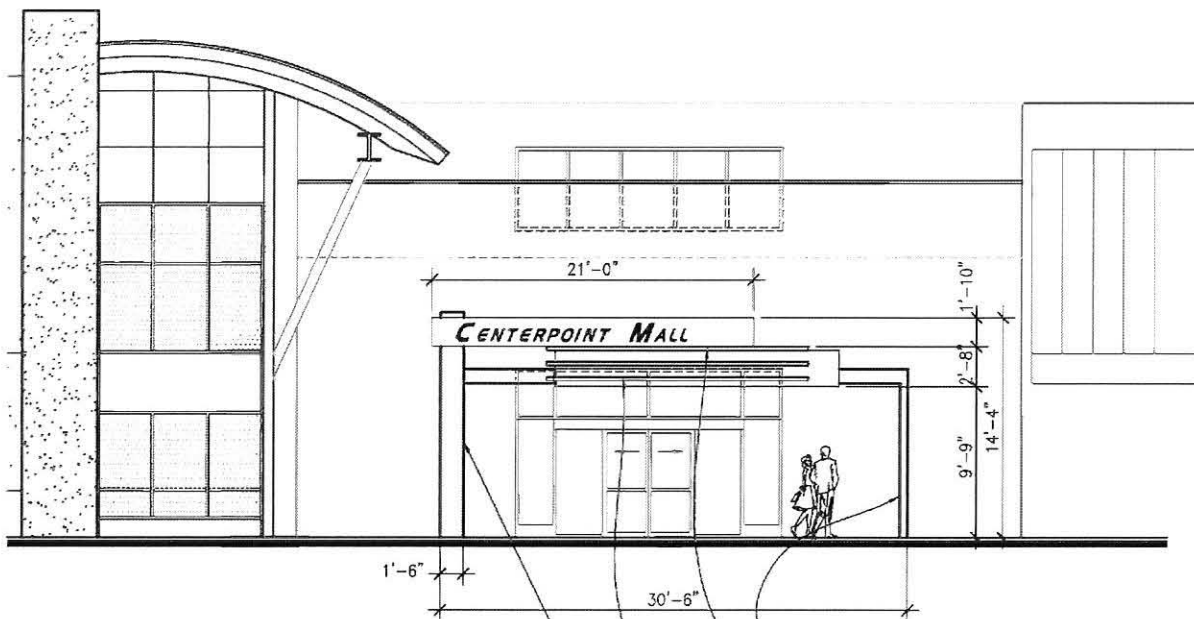
BACK LIT LETTERS 9" HI.  
 FONT STYLE - AF-PEPSI. 6.5 SF.  
 AT EACH SIDE

3" SQ ALUM. TUBE RAILS

EXT. PLASTER FINISH COLUMN

Exhibit 5.4  
 GROUND SIGN - ELEVATION





- 1'-6"
  - 21'-0"
  - 30'-6"
  - 9'-9"
  - 14'-4"
  - 2'-8"
  - 1'-10"
- EXISTING STL. FRAME  
 INDIVIDUAL BACK LIT 16" HI. ALUM.  
 LETTERS. FONT STYLE - AF-PEPSI. 21 SF. ON ONE SIDE  
 3" SQ. ALUM. TUBE RAILS  
 18" SQ. MTL. PANEL COLUMN.

Exhibit 5.5  
MALL ENTRY MARQUEE SIGN - ELEVATION

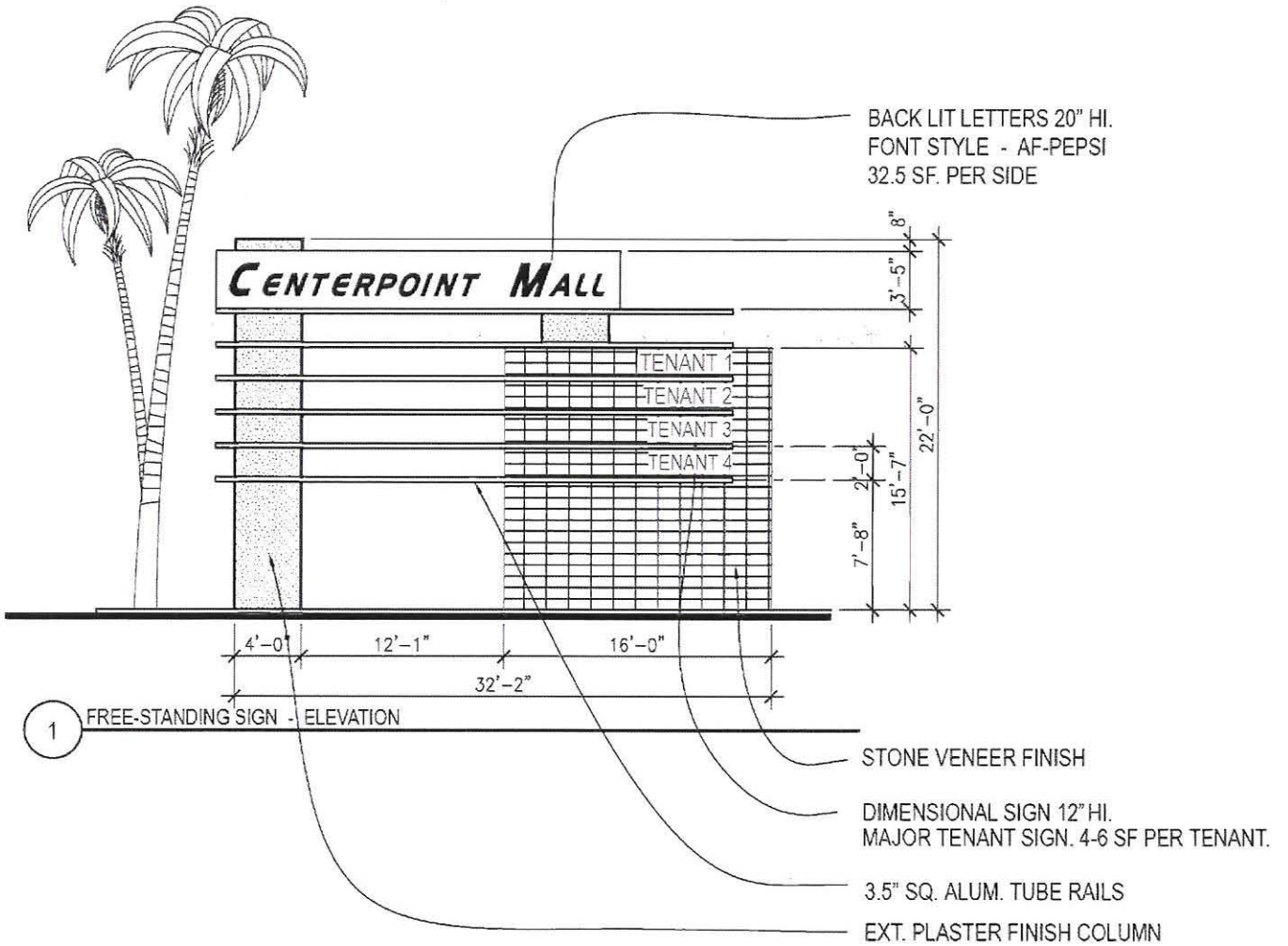
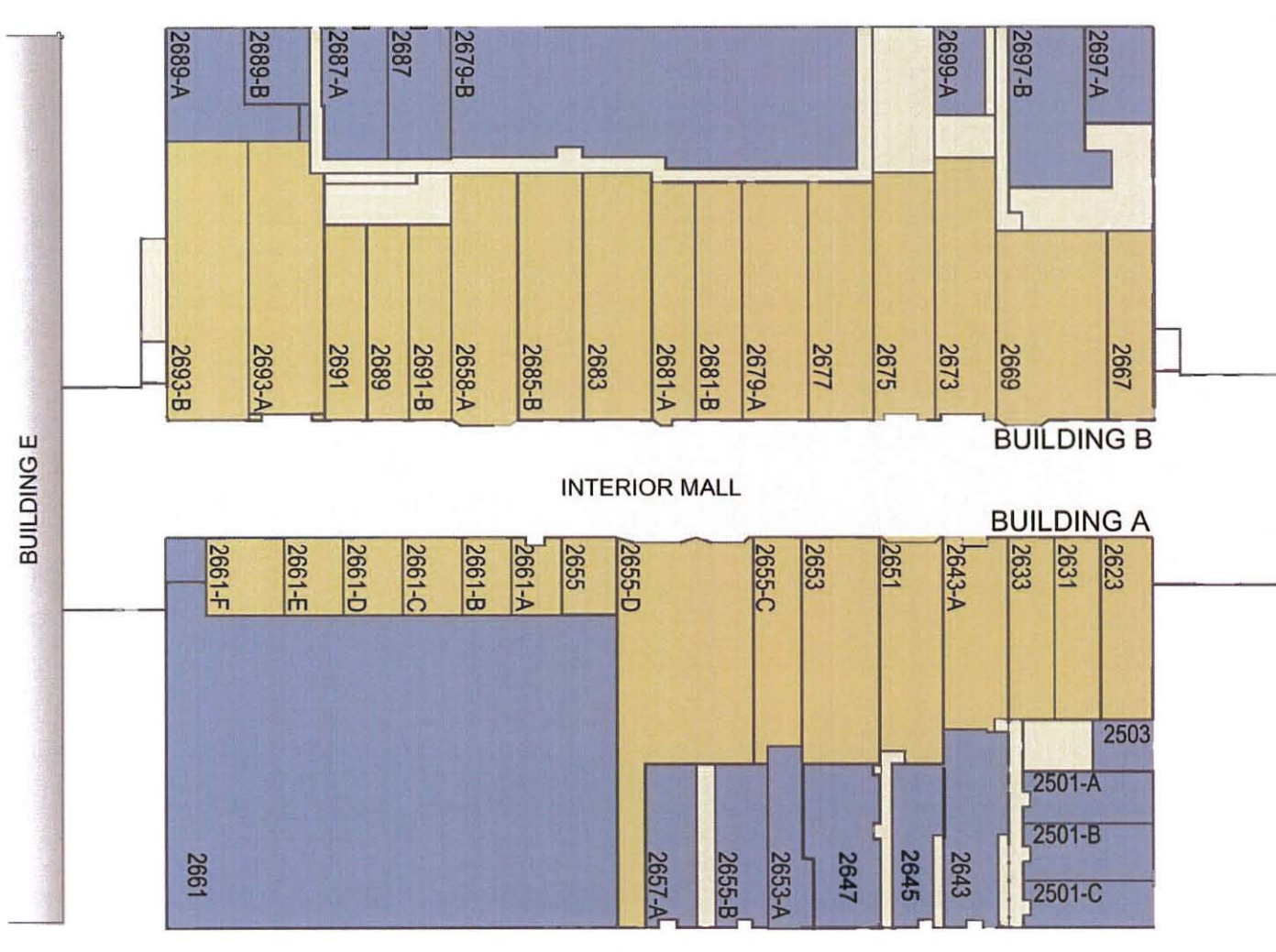


Exhibit 5.6  
FREE-STANDING SIGN - ELEVATION



**\*\*2645 and 2647 addresses were left out of the Master Sign Program - No signage Sq Ft was allocated for these suites.**

**LEGEND**

- EXTERIOR MALL TENANTS  
2 SF PER LINEAL FOOT OF FRONTAGE
- INTERIOR MALL TENANTS  
1/2 SF PER LINEAL FOOT OF FRONTAGE
- SERVICE/MAINT. AREAS

**NOTE:**  
Tenants cannot combine square feet from other elevations onto one elevation. Sign Area (sf) is calculated per elevation. See Signage Analysis.

MALL TENANT PLAN

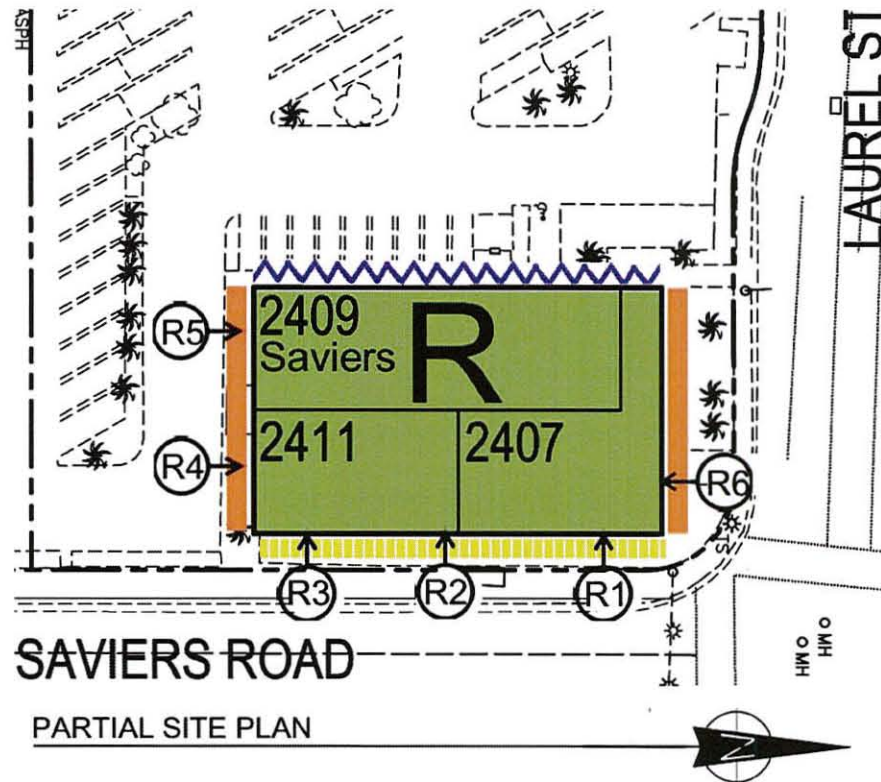


**Exhibit 5.8**  
MALL TENANTS - SIGNAGE LOCATIONS






Jan. 30, 2009







**SITE LEGEND**

-  PRIMARY TENANT FRONTAGE  
2 SF X LINEAL FRONTAGE
-  SECONDARY TENANT FRONTAGE  
1/2 SF X LINEAL FRONTAGE
-  AREAS WHERE SF FROM PRIMARY FRONTAGE MAY ALSO BE USED
-  EXISTING BUILDING
-  SIGNAGE LOCATION

Note: Exact locations of signs to be determined & approved by city officials and Landlord.

**NOTE:**  
Tenants cannot combine square feet from other elevations onto one elevation. Sign Area (sf) is calculated per elevation. See Signage Analysis.

Exhibit 5.9  
EXISTING BUILDING R - SIGNAGE LOCATIONS



**MALL CENTER SIGNAGE**

ADDRESS	TYPE OF SIGN	NUMBER	MAX. SIGN AREA ALLOWED (Per side)	No. SIDES PER SIGN	TOTAL SIGN AREA	TOTAL SIGN AREA PER STREET	PRIMARY SIGN LOCATIONS
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**PROPOSED SIGNAGE**

Saviers Rd.	Ground Sign	x 1	6.50 Sq.Ft.	2	13.00 SF	168.00 SF	PER EXHIBIT 5.1
	Free-standing Sign	x 1	56.50 Sq.Fl.	2	113.00 SF		
	Marquee sign	x 2	21.00 Sq.Fl.	1	42.00 SF		

Channel Islands	Ground Sign	x 2	6.50 Sq.Fl.	2	26.00 SF	26.00 SF	PER EXHIBIT 5.1
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C' Street	Ground Sign	x 2	6.50 Sq.Ft.	2	26.00 SF	68.00 SF	PER EXHIBIT 5.1
	Marquee Sign	x 2	21.00 Sq.Fl.	1	42.00 SF		

TOTAL MALL SIGNAGE	262.00 SF
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TOTAL SIGNAGE AREA FOR MALL IDENTIFICATION ALLOWED  
(SUBTRACTED FROM BUILDINGS PER EXHIBITS 6.2.1, 6.2.2 AND 6.3)

EXISTING BUILDINGS	419 SF
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PROPOSED BUILDINGS AND ADDITIONS	62 SF
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EXTERIOR MALL TENANTS	50.5 SF
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TOTAL	531.5 SF
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**Exhibit 6.1  
SIGNAGE ANALYSIS - CENTER**

TENANT ADDRESS	LINEAR STORE FRONT	FACTOR	MAX. SIGN AREA ALLOWED (PER TENANT PER ELEVATION)	TOTAL TENANT SIGN AREA	TOTAL NUMBER OF SIGNS ALLOWED ONE PER ELEVATION	MALL IDENTIFICATION SIGNAGE (SUBTRACTED FROM BUILDINGS)
<b>EXISTING BUILDINGS</b>						
2831 Saviers Building N	SOUTH/EAST	131.00	x 2	262.00 Sq.Ft.	291.00 SF	Three (3)
	WEST	58.00	x 0.5	29.00 Sq.Ft.		
Building S Multi Tenant	NORTH	101.00	x 0.5	50.50 Sq.Ft.	344.50 SF	1 Per Tenant per Frontage
	EAST	117.00	x 2	234.00 Sq.Ft.		
	WEST	120.00	x 0.5	60.00 Sq.Ft.		
2475 Saviers Building L	EAST/SOUTH	66.00	x 2	132.00 Sq.Ft.	218.50 SF	Three (3)
	WEST	66.00	x 0.5	33.00 Sq.Ft.		
	NORTH	107.00	x 0.5	53.50 Sq.Ft.		
2701 Saviers Building E Major Tenant	EAST/SOUTH	224.00	x 2	448.00 Sq.Ft.*	696.00 SF	Three (3) *Note: Maximum allowable sign area for East Elevation is 450 SF, because of 400 LF setback from street. Maximum allowable sign area for East Elevation is 400 SF, because of 300 LF setback from street, maximum shall not be exceeded. The remaining Square Footage will be added to Mall Center Signage calculation.
	WEST/SOUTH	224.00	x 2	448.00 Sq.Ft.*		
2401 Saviers Building F Major Tenant	EAST	329.50	x 2	659.00 Sq.Ft.*	659.00 SF	Max Eight (8) on East Side (Due to existing sign permits) *Note: East Elevation shall not exceed maximum allowable sign area per elevation of 450 SF because of 400 LF setback from street. The remaining Square Footage will be added to Mall Center Signage calculation. 209 SF
150 Laurel Building K **	EAST	62.50	x 0.5	31.25 Sq.Ft.	289.25 SF	Two (2)
	NORTH	129.00	x 2	258.00 Sq.Ft.		
2500 'C' Street Building P **	WEST	210.00	x 2	420.00 Sq.Ft.*	489.50 SF	Two (2) *Note: West Elevation exceeds maximum allowable sign area per elevation of 300 SF. The remaining Square Footage will be added to Mall Center Signage calculation. 120 SF
	SOUTH	139.00	x 0.5	69.50 Sq.Ft.		
2400 'C' Street Building C	SOUTH	124.00	x 0.5	62.00 Sq.Ft.	482.00 SF	Three (3) *Note: West Elevation shall not exceed maximum allowable sign area per elevation of 300 SF. The remaining Square Footage will be added to Mall Center Signage calculation. 36 SF
	EAST	168.00	x 0.5	84.00 Sq.Ft.		
	WEST/NORTH	168.00	x 2	336.00 Sq.Ft.*		
BUILDING H**	SOUTH/EAST	41.00	x 2	82.00 Sq.Ft.	144.50 SF	Three (3)
	WEST	84.00	0.5	42.00 Sq.Ft.		
	NORTH	41.00	x 0.5	20.50 Sq.Ft.		
BUILDING I	NORTH	105.00	x 0.5	52.50 Sq.Ft.	435.00 SF	Three (3) *Note: West Elevation shall not exceed maximum allowable sign area per elevation of 300 SF. The remaining Square Footage will be added to Mall Center Signage calculation. 6 SF
	WEST/SOUTH	153.00	x 2	306.00 Sq.Ft.*		
	EAST	153.00	x 0.5	76.50 Sq.Ft.		
**NOTE: AN ADDITION TO THIS BUILDING IS PROPOSED AS PART OF THIS MASTER PLAN. SEE SIGNAGE ANALYSIS FOR PROPOSED ADDITIONS IF ADDITION OCCURS.						TOTAL ALLOWABLE SIGN AREA FOR MALL CENTER 419 SF

Exhibit 6.2.1  
SIGNAGE ANALYSIS - SITE BLDGS

TENANT ADDRESS	LINEAR STORE FRONT	FACTOR	MAX. SIGN AREA ALLOWED (PER TENANT PER ELEVATION)	TOTAL TENANT SIGN AREA	TOTAL NUMBER OF SIGNS ALLOWED ONE PER ELEVATION	MALL IDENTIFICATION SIGNAGE (SUBTRACTED FROM BUILDINGS)
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PROPOSED BUILDINGS\*\*\*

BUILDING D	WEST 121.50	x 2	243.00 Sq.Ft.	243.00 SF	To be determined	To be determined
BUILDING G	EAST 163.50	x 2	327.00 Sq.Ft.	327.00 SF	To be determined	To be determined
BUILDING J Multi Tenant	NORTH 160.00	x 2	320.00 Sq.Ft.	320.00 SF	To be determined	To be determined

PROPOSED ADDITIONS

150 Laurel Building K **	EAST 62.50	x 0.5	31.25 Sq.Ft.	373.25 SF	Two (2) *Note: North Elevation shall not exceed maximum allowable sign area per elevation of 300 SF. The remaining Square Footage will be added to Mall Center Signage calculation.	42 SF
	NORTH 171.00	x 2	342.00 Sq.Ft.*			
2500 'C' Street Building P **	WEST 210.00	x 2	420.00 Sq.Ft.*	489.50 SF	Two (2) *Note: West Elevation exceeds maximum allowable sign area per elevation of 400 SF because of 300 LF setback from street. The remaining Square Footage will be added to Mall Center Signage calculation.	20 SF
	SOUTH 139.00	x 0.5	69.50 Sq.Ft.			
BUILDING H**	SOUTH/EAST 60.00	x 2	120.00 Sq.Ft.	192.00 SF	Three (3)	
	WEST 84.00	0.5	42.00 Sq.Ft.			
	NORTH 60.00	x 0.5	30.00 Sq.Ft.			

\*\*\*SIGNAGE AMOUNTS HAVE BEEN CALCULATED ONLY FOR THE PRIMARY FRONTAGE DURING THE DDR APPROVAL THESE NUMBERS SHALL BE AMENDED TO REFLECT ACTUAL BUILDING CONDITIONS.

TOTAL ALLOWABLE SIGN AREA FOR MALL CENTER  
62 SF

TENANT ADDRESS	LINEAR STORE FRONT	FACTOR	MAX. SIGN AREA ALLOWED (PER TENANT PER ELEVATION)	TOTAL TENANT SIGN AREA	PRIMARY SIGN LOCATIONS	TOTAL NUMBER OF SIGNS ALLOWED ONE PER ELEVATION
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EXISTING BUILDINGS TO BE REMOVED

BUILDING R 2411 Saviers	SOUTH 35.50	x 0.5	17.75 Sq.Ft.	95.75 SF	R4 R3	Two (2)
	EAST/WEST 39.00	x 2	78.00 Sq.Ft.			
BUILDING R 2407 Saviers	NORTH 71.00	x 0.5	35.50 Sq.Ft.	113.50 SF	R6 R1	Two (2)
	EAST/WEST 39.00	x 2	78.00 Sq.Ft.			
BUILDING R 2409 Saviers	EAST/WEST 39.00	x 2	78.00 Sq.Ft.	95.75 SF	R2 R5	Two (2)
	SOUTH 35.50	x 0.5	17.75 Sq.Ft.			

Exhibit 6.2.2  
SIGNAGE ANALYSIS - SITE BLDGS

**MALL TENANTS**

TENANT ADDRESS	LINEAR STOREFRONT (MEASURED IN FEET)	FACTOR	MAX SIGN AREA ALLOWED (PER TENANT PER ELEVATION)	TOTAL SIGN AREA	TOTAL NO. OF SIGNS ALLOWED (ONE PER ELEVATION)	MALL IDENTIFICATION SIGNAGE (SUBTRACTED FROM BUILDINGS)
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**EXTERIOR TENANTS - BUILDING A**

2661	EAST 171.25	x 2	342.50 Sq.Ft.*	342.50 SF	One (1) *Note: East Elevation exceeds maximum allowable sign area per elevation of 300 SF. The remaining Square Footage will be added to Mall Center Signage calculation	42:7:2r
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2657-A	EAST 19.83	x 2	39.66 Sq.Ft.	39.66 SF	One (1)	
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2655-8	EAST 19.83	x 2	39.66 Sq.Ft.	39.66 SF	One (1)	
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2653-A	EAST 23.00	x 2	46.00 Sq.Ft.	46.00 SF	One (1)	
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2647	EAST 20.00	x 2	40.00 Sq ft	40.00 SF	One (1)	
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2645	EAST 20.25	x 2	40.50 Sq.Ft.	40.50 SF	One (1)	
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2643	EAST 20.25	x 2	40.50 Sq Ft	40.50 SF	One (1)	
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2501-C	EAST 49.75	x 2	99.50 Sq.Ft.	108.50 SF	Two (2)	
	NORTH 18.00	x 0.5	9.00 Sq.Ft.			

2501-B	NORTH 22.00	x 0.5	11.00 Sq.Ft.	11.00 SF	One (1)	
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2501-A	NORTH 20.00	x 0.5	10.00 Sq.Ft.	10.00 SF	One (1)	
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2503	NORTH 20.00	x 0.5	10.00 Sq.Ft.	10.00 SF	One (1)	
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**EXTERIOR TENANTS - BUILDING B**

2697-A	WEST 26.00	x 2	52.00 Sq.Ft.	52.00 SF	One (1)	
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2697-B	WEST 29.00	x 2	58.00 Sq.Ft.	58.00 SF	One (1)	
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2699-A	WEST 23.50	x 2	47.00 Sq.Ft.	47.00 SF	One (1)	
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2679-B	WEST 154.00	x 2	308.00 Sq.Ft.*	308.00 SF	One (1) *Note: West Elevation exceeds maximum allowable sign area per elevation of 300 SF. The remaining Square Footage will be added to Mall Center Signage calculation	8 SF
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2687	WEST 23.50	x 2	47.00 Sq.Ft.	47.00 SF	One (1)	
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2689-A	WEST 30.001 x 2_1		60.00 Sq.Ft.1	60.00 SF1	One (1)	
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						TOTAL ALLOWABLE SIGN AREA FOR MALL CENTER
						50.5 SF

2687-A	WEST 25.00	x 2	50.00 Sq.Ft.	50.00 SF	One (1)	
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2689-B	WEST 25.00	x 2	50.00 Sq.Ft.	50.00 SF	One (1)	
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## MALL TENANTS

TENANT ADDRESS	LINEAR STORE FRONT (MEASURED IN FEET)	FACTOR	MAX. SIGN AREA ALLOWED (PER TENANT PER ELEVATION)	TOTAL TENANT SIGN AREA	TOTAL NO.OF SIGNS ALLOWED ONE PER ELEVATION
<b>INTERIOR TENANTS - BUILDING B</b>					
2667	INT. MALL TENANT FRONTAGE	x 0.5	VARIES		
2669	INT. MALL TENANT FRONTAGE	x 0.5	VARIES		
2673	INT. MALL TENANT FRONTAGE	x 0.5	VARIES		
2675	INT. MALL TENANT FRONTAGE	x 0.5	VARIES		
2677	INT. MALL TENANT FRONTAGE	x 0.5	VARIES		
2679-A	INT. MALL TENANT FRONTAGE	x 0.5	VARIES		
2681-B	INT. MALL TENANT FRONTAGE	x 0.5	VARIES		
2681-A	INT. MALL TENANT FRONTAGE	x 0.5	VARIES		
2683	INT. MALL TENANT FRONTAGE	x 0.5	VARIES		
2685-B	INT. MALL TENANT FRONTAGE	x 0.5	VARIES		
2685-A	INT. MALL TENANT FRONTAGE	x 0.5	VARIES		
2691-B	INT. MALL TENANT FRONTAGE	x 0.5	VARIES		
2689	INT. MALL TENANT FRONTAGE	x 0.5	VARIES		
2691	INT. MALL TENANT FRONTAGE	x 0.5	VARIES		
2693-A	INT. MALL TENANT FRONTAGE	x 0.5	VARIES		
2693-B	INT. MALL TENANT FRONTAGE	x 0.5	VARIES		
<b>TOTAL FRONTAGE</b>	<b>373</b>	<b>x 0.5</b>		<b>186.5 SF</b>	<b>1 PER TENANT PER FRONTAGE</b>

### INTERIOR TENANTS - BUILDING A

2623	INT. MALL TENANT FRONTAGE	x 0.5	VARIES		
2631	INT. MALL TENANT FRONTAGE	x 0.5	VARIES		
2633	INT. MALL TENANT FRONTAGE	x 0.5	VARIES		
2643-A	INT. MALL TENANT FRONTAGE	x 0.5	VARIES		
2651	INT. MALL TENANT FRONTAGE	x 0.5	VARIES		
2653	INT. MALL TENANT FRONTAGE	x 0.5	VARIES		
2655-C	INT. MALL TENANT FRONTAGE	x 0.5	VARIES		
2655-D	INT. MALL TENANT FRONTAGE	x 0.5	VARIES		
2655	INT. MALL TENANT FRONTAGE	x 0.5	VARIES		
2661-A	INT. MALL TENANT FRONTAGE	x 0.5	VARIES		
2661-B	INT. MALL TENANT FRONTAGE	x 0.5	VARIES		
2661-C	INT. MALL TENANT FRONTAGE	x 0.5	VARIES		
2661-D	INT. MALL TENANT FRONTAGE	x 0.5	VARIES		
2661-E	INT. MALL TENANT FRONTAGE	x 0.5	VARIES		
2661-F	INT. MALL TENANT FRONTAGE	x 0.5	VARIES		
<b>TOTAL FRONTAGE</b>	<b>373</b>	<b>x 0.5</b>		<b>186.5 SF</b>	<b>1 PER TENANT PER FRONTAGE</b>

Exhibit 6.3.2  
SIGNAGE ANALYSIS - MALL TENANTS

<b>DESIGN GUIDELINES CHECKLIST</b>			
<i>CRITERIA</i>	ACCEPTABLE	NEEDS IMPROVEMENT	COMMENTS
<b>MASSING-PROPORTIONS</b>			
Height to Width Ratio: 1:15 to 1:3			
Varied Massing, Proportions			
Defined Entrance			
Parapet Wall Proportioned			
<b>BUILDING DIMENSIONS</b>			
Max. Building Height			
Max. Building Square Footage			
<b>BUILDING MATERIALS</b>			
Cement Plaster, light to medium dash texture			
Exterior Insulation Finish Systems (EIFS)			
Contemporary metal siding panels			
Brick Veneer or Stone Accents			
Exposed Steel Shade Elements			
Metal Screens, Louvers, Trellises			
Metal Roofing with pre-finished Kynar			
<b>GLAZING</b>			
Transparent or blue/green non-reflective glass			
Clear anodized aluminum framing			
Storefront with contemporary profiles			
Shading: awnings, trellis, overhangs			
<b>COLORS</b>			
Primary color of structure			
Secondary and Accent colors			
<b>DETAILS</b>			
Decorative Scuppers			
Decorative Reglets			
Decorative Color Banding			
<b>ROOF</b>			
Roof Pitch at Exposed Roof of 3:12-12:12			
Material per Guidelines text: standing seam			
Proportioned Auxiliary Structures (Canopies)			
<b>SIGNAGE</b>			
Signs with illumination per Guideline text			
<b>LANDSCAPING</b>			
Plant Species per Master Landscape Plan			
Plan per Project conditions/requirements			
<b>GREEN DESIGN ELEMENTS</b>			
Recycled wood products			
Recycled asphalt or concrete			

Exhibit 7.0  
DESIGN GUIDELINES - CHECKLIST



(A)

ENTRY FACADE:  
CUSTOM COLOR  
BINDER GREEN



(B)

METAL TRELLIS:  
DUNN EDWARDS  
DE6063 BLACK WALNUT



(C)

ACCENT FEATURE:  
DUNN EDWARDS  
DE6216 BARREL STOVE



(D)

STOREFRONT SYSTEM:  
CLEAR ALUM. FRAME W/  
SOLAR BRONZE GLAZING



(E)

BASE COURSE:  
MASONRY, COMMON BOND  
SPLIT FACE 'HARVEST'



(F)

STUCCO WALL:  
DUNN EDWARDS  
DE6207 EGYPTIAN SAND



(G)

STUCCO WALL:  
DUNN EDWARDS  
DE6192 NOMADIC TAUPE



(J)

ACCENT FEATURE:  
18"x18" SLATE TILE

COLOR BOARD - S

Jan. 30, 2009

**CENTERPOINT MALL**

266 SAVIERS ROAD OXNARD CA 93033

Centerpoint Mall Master Plan  
CHANNEL ISLAND BLVD. & SAVIERS ROAD, OXNARD CA 93033







(A)

ENTRY FACADE:  
SLATE TILE 18X18  
BLENDED COLOR MIX



(B)

METAL TRELLIS:  
DUNN EDWARDS  
DE 6392 MINK



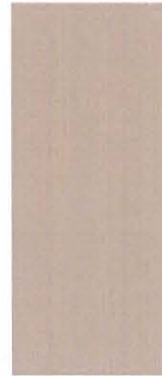
(C)

STOREFRONT SYSTEM:  
CLEAR ALUM. FRAME W/  
SOLAR BRONZE GLAZING



(D)

PLASTER TO MATCH MASONRY :  
DUNN EDWARDS  
DE6150 GOURMET HONEY



(E)

PLASTER WALL:  
DUNN EDWARDS  
DE 6130 WOODEN PEG



(F)

MASONRY FIELD:  
ANGELUS BLOCK  
CHAMPAGNE-  
ASHLER PATTERN



(G)

MASONRY BASE:  
ANGELUS BLOCK  
HARVEST- SPLIT FACE



(H)

PLASTER WALL:  
DUNN EDWARDS  
DE6150 GOURMET HONEY

COLOR BOARD - C





(A)

ENTRY FACADE:  
DUNN EDWARDS  
DE6174 RIDGECREST



(B)

METAL TRELLIS:  
DUNN EDWARDS  
DE6392 MINK



(C)

STOREFRONT SYSTEM:  
CLEAR ALUM. FRAME W/  
SOLAR BRONZE GLAZING



(D)

WATER BLAST TEXTURE:  
DUNN EDWARDS  
DE6230 CENTER RIDGE



(E)

BASE COURSE:  
DUNN EDWARDS  
DE 6230 CENTER RIDGE



(F)

CONCRETE PANEL  
DUNN EDWARDS  
DE6280 ENGLISH FOREST



(G)

CONCRETE PANEL:  
DUNN EDWARDS  
DE6192 NOMADIC TAUPE

COLOR BOARD - X